

CASE SUMMARY • CERTIFICATE OF APPROPRIATENESS (COA)

Historic Preservation Commission Evidentiary Hearing • August 14, 2025

Project Planner | Benjamin Riggle | 910.341.3251 | ben.riggle@wilmingtonnc.gov

Address:	304 North 15 th Street	District:	Carolina Heights/Winoca Terrace Historic District Overlay (R7-HDO)
Request:	Construct rear deck with screened-in porch area		
Property Owner:	Alyssa Thompson 304 North 15 th Street Wilmington, NC 28401	Agent:	RTC Restorations (Oscar Rodriguez) 5041 New Centre Dr Suite 200C Wilmington, NC 28403



304 North 15th Street | Front (West) Façade looking east | August/2025 (staff)

Case Overview

The applicant proposes to construct a rear deck with a screened-in porch area.

Details as shown on the drawings, plans, photographs, submittals, and narrative statement contained in the application, and supplemental materials and statements made at the August 14, 2025 meeting are a part of this request unless otherwise noted.

Property Information

Property Description

The following property description is adapted from the Carolina Heights Historic District National Register of Historic Places Report, dated 1999.

The Richard H. Hubbard House, constructed ca. 1923, is a two-story, brick, Colonial Revival style dwelling with a side gable roof. The house has an asymmetrical façade, three bays in width.

Sanborn Fire Insurance Maps

- **1951 Map.** Two-story brick veneered house with a one-car garage at rear of parcel.
- **1955 Map.** Garage removed, but house unchanged.

Current Conditions

- The subject house is a contributing resource to the Carolina Heights/Winoca Terrace Historic District Overlay (R7-HDO).
- The property is zoned Carolina Heights/Winoca Terrace Historic District Overlay (R7-HDO). The HDO was established on August 23, 1977.

Proposed Findings of Fact

Property Information

1. The subject house is a contributing resource to the Carolina Heights/Winoca Terrace Historic District Overlay (R7-HDO). Only that which can be seen from the public right-of-way, excluding alleys, is subject to design review.
2. The subject property is located on the east side of North 15th Street, one parcel north of its intersection with Grace Street.
3. The following facades are subject to review: Front (West) and Sides (North and South).
4. The following Certificates of Appropriateness have been issued for the property:
 - a. April 25, 2017 (MJW-17-37): Construction of an accessory building

Scope of Work

5. The applicant proposes to construct a rear deck with a screened-in porch area.
 - a. The proposed deck area will have an L-shape approximately 528 square feet in size, while a 14' x 22' screened-in porch will occupy the northern portion of the deck area.
 - b. The proposed deck and porch will rest on 30" x 30" x 30" concrete footers that will support 2"x10" headers.
 - c. The posts will be 6"x6" with 2"x8" rafters.
 - d. The proposed decking will be Composite Deckorators Voyage in Costa color.
 - e. Southern Yellow Pine will be used for trim and siding, with tongue-and-groove planking for the porch ceiling material.
 - f. The roof of the porch area will be black architectural shingles matching the existing house.

Staff Observations

6. Staff notes the following:

- a. Because of the location of the proposed deck with screen porch at the rear of the house, only small portions of the side elevation will be visible from the public right-of-way.

Applicable Design Standards

7. The following Wilmington Design Standards for Historic Districts and Landmarks are applicable to this request:

Section	Description	Standards
1.6	Secretary of the Interior's Standards	
1.	A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment	
2.	The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.	
3.	Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.	
4.	Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.	
5.	Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.	
9.	New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.	
10.	New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	
2.6	District Setting-Decks and Pools	
1.	Design and locate decks in a manner that the historic features of the building are not damaged or obscured. They should be structurally self-supporting and allow for future removal without damage to the historic building.	
2.	Locate decks in the rear or on the least conspicuous side of the building and screen with shrubs and/or fencing.	
3.	The construction of decks should avoid the destruction of building features or site elements such as porches and mature trees. Roof decks are not recommended.	
4.	Design decks to be contemporary yet compatible with the related building. Decks should be simple in character and scale with the associated historic building so that they do not compete visually. Relate decks to buildings using traditional materials such as wooden lattice or brick skirting to screen their structural frames. Design railings, balustrades and steps to reflect the scale, proportion and materials of the building.	
5.	Use materials and construction methods that will allow new decks to be well maintained. Construct decks of pressure treated lumber or hard insect-resisting woods, such as cedar and cypress. Use galvanized nails to avoid rust stains.	

3.5 General Building-Porches and Entrances

1. Retain and preserve original and/or historic porches and entrances, as well as their functional and decorative features that contribute to the significance of the building and the area.
8. A false sense of history should not be created by the introduction of inappropriate features and details to a porch or entrance area.
9. It is inappropriate to screen or enclose front porches because of their significance as a design element and the possibility of losing or damaging original materials. Rear or side porches may sometimes be screened if the frame is constructed behind the columns or posts and is removable without adversely affecting the historic integrity of the structure. When permitted, screening should use the minimum number of vertical and horizontal framing members necessary, and they should be aligned with existing porch elements to minimize their visual impact. The reopening of porches that were previously enclosed is highly encouraged.
10. Rear and side porches may be converted to sunrooms if the new design is compatible with the architectural style of the house and the glass elements can be removed without adversely affecting the structure.

Recommended Conditions

If the commission elects to issue a Certificate of Appropriateness for this request, staff recommends the following conditions be applied.

1. No mature trees or historic landscaping shall be removed as a result of this proposed project.
2. All construction shall comply with the regulations and requirements imposed by the Land Development Code and other applicable federal, state, or local law, ordinance, or regulation, including the North Carolina Building Code. All required permits shall be obtained.
3. Changes to the project from that described in the application and submittals, shall be reviewed by the Historic Preservation Commission, or if minor in nature as specified in the Wilmington Design Standards for Historic Districts and Landmarks, by staff through the administrative bypass process.

Public Hearing Notice

Notification Type	Date
<i>Signs posted</i>	7/31/2025
<i>Notice mailed to adjacent property owners</i>	7/31/2025
<i>Newspaper advertisement date</i>	8/8/2025

Attachments

1. Application (Received 7/9/2025)
2. Case Map (Dated 7/11/2025)
3. District Map (Dated 7/11/2025)
4. Narrative and Materials (Received 7/9/2025)
5. Structural Plans (Received 7/9/2025)
6. Elevations (Received 7/9/2025)



304 North 15th Street | *Front (West) Façade looking northeast* | August/2025 (Staff)



304 North 15th Street | *Front (West) Façade looking east* | August/2025 (Staff)



304 North 15th Street | View toward proposed rear deck from public right-of-way looking east | August/2025 (Staff)



304 North 15th Street | View toward proposed rear deck from public right-of-way looking east | August/2025 (Staff)



CERTIFICATE OF APPROPRIATENESS APPLICATION

MAJOR WORK

PLEASE TYPE OR PRINT

RECEIVED

By Ben Riggle at 10:04 am, Jul 09, 2025

Property Street Address: 304 N 15th St

Tax Parcel Number: R04814-020-006-000

Property Owner Information

If the applicant is not the property owner, an agent form (below) is required to be signed by the property owner and submitted with an application. Application must be signed by all legal property owners.

Owner name(s): Alyssa Thompson

Mailing Address: 304 N 15TH ST, Wilmington, NC 28401

Phone: (513)238-7865

Email address: alyssa.lynn.thompson@gmail.com

Signature: Signed by:
Alyssa Thompson
49B9EBD9B34E4DE...

Date: 07/02/25

AGENT FORM (This section is required if the applicant is anyone other than the property owner)

I Alyssa Thompson the undersigned owner, do hereby appoint

RTC Restorations (Oscar Rodriguez) to act on my behalf for the purpose of petitioning the city of Wilmington Historic Preservation Commission for a certificate of appropriateness, as applicable to the property described in the attached petition.

I do hereby covenant and agree with the city of Wilmington that said person (agent) has the authority to do the following acts for or on behalf of the owner:

- Submit a property petition and require supplemental materials
- Appear at public meetings to give testimony and make commitments on behalf of the owner
- Accept conditions or recommendations made for the issuance of the certificate of appropriateness on the owner's property
- Act on the owner's behalf without limitations with regard to any and all things directly or indirectly connected with or arising out of any petition for a certificate of appropriate-

This appointment agreement shall continue in effect until final disposition of the petition submitted in conjunction with this appointment.

Owner(s) name(s): Alyssa Thompson

Owner(s) signature: Signed by:
Alyssa Thompson
49B9EBD9B34E4DE...

Date: 07/02/2025

Designated agent name: RTC Restorations (Oscar Rodriguez) Designated agent phone: (910) 504 3075

Designated agent email: oscar@rtcrestorations.com

Designated agent mailing address: 5041 New Centre Dr Suite 200C, Wilmington, NC 28403



CERTIFICATE OF APPROPRIATENESS APPLICATION

MAJOR WORK

SUBMITTAL CHECKLIST

If the information is not included with the application, the request cannot be scheduled for review by the Commission. Please check off the items below if completed:

☒ **Signed Application Form / Agent Form** (as needed)

☒ **Project Narrative**

- Brief detailed description of the project, including a description of how the proposed changes are consistent with the Wilmington Design Standards for Historic Districts

☒ **Tax Map**

- This can be found online at New Hanover County GIS Portal at <https://www.nhcgov.com/844/GIS-Maps-Data>

☒ **Proposed Building Materials**

- Product sheets for each type of material proposed (including windows, doors, roof, siding, etc.)
- Material Sheet Checklist if applicable
- May include brochures or manufacturer's specification sheets

☒ **Digital Photos** (all photos may be emailed)

- A keyed site plan or lot diagram showing existing structures, features and conditions
- A close-up of the proposed work area.

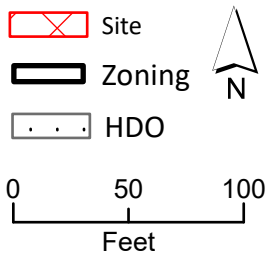
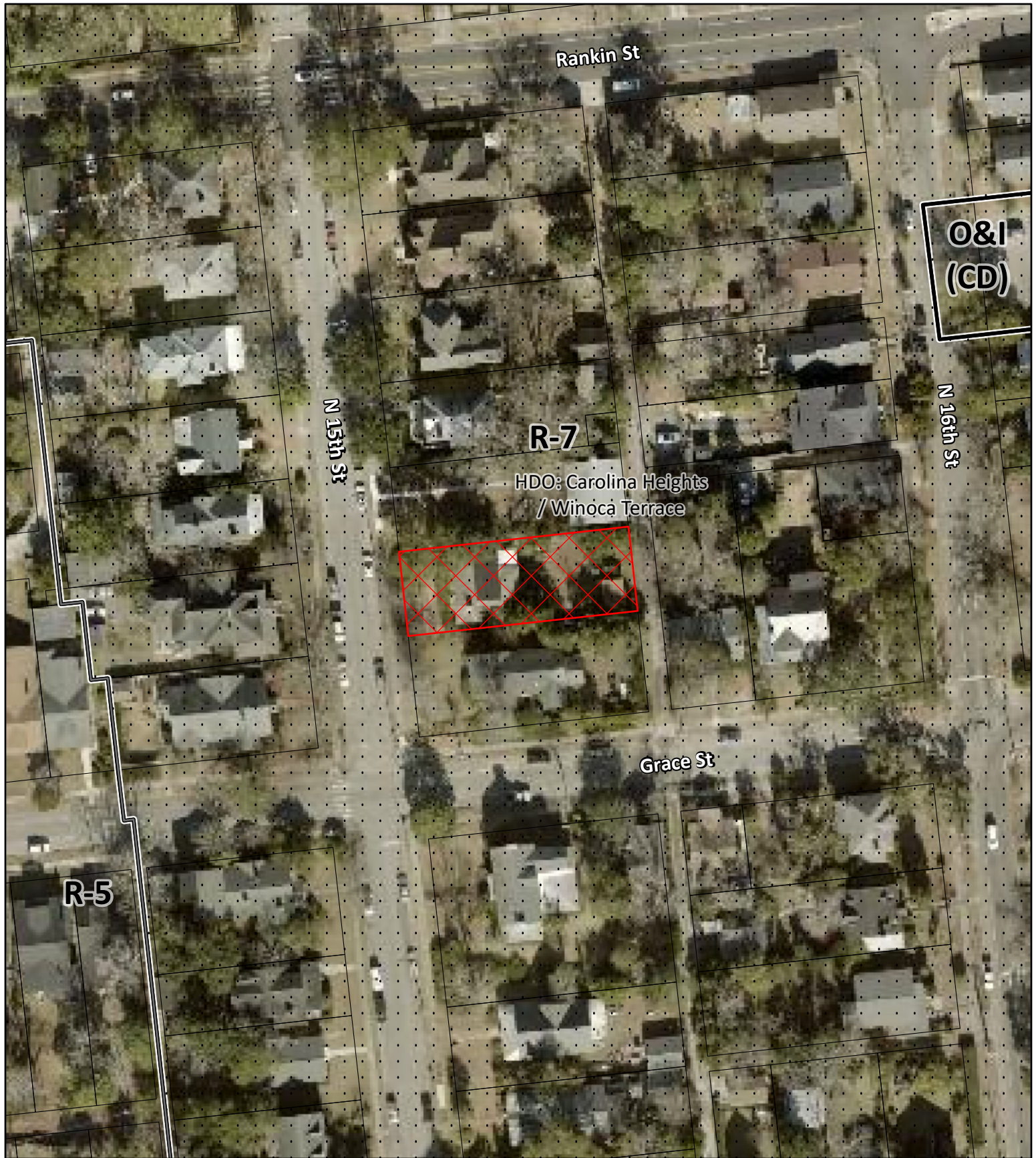
These scopes will require additional information including but not limited to the following:

☒ **New Construction, Major Alterations, Additions**

- Site plan drawn to scale with existing and proposed buildings, setbacks, parking areas, driveways, trees to be removed or preserved, fences and landscaping.
- Architectural drawings, drawn to scale including elevations and floor plans.
- Additional information that helps determine whether the project is consistent with [*Design Standards*](#).
- Three dimensional models (optional)

The applicant is responsible for supplying all information necessary to enable the Historic Preservation Commission (HPC) to understand the proposal and potential impacts on the historic district or overlay.

**Without sufficient information, the Commission
may continue or deny the request.**



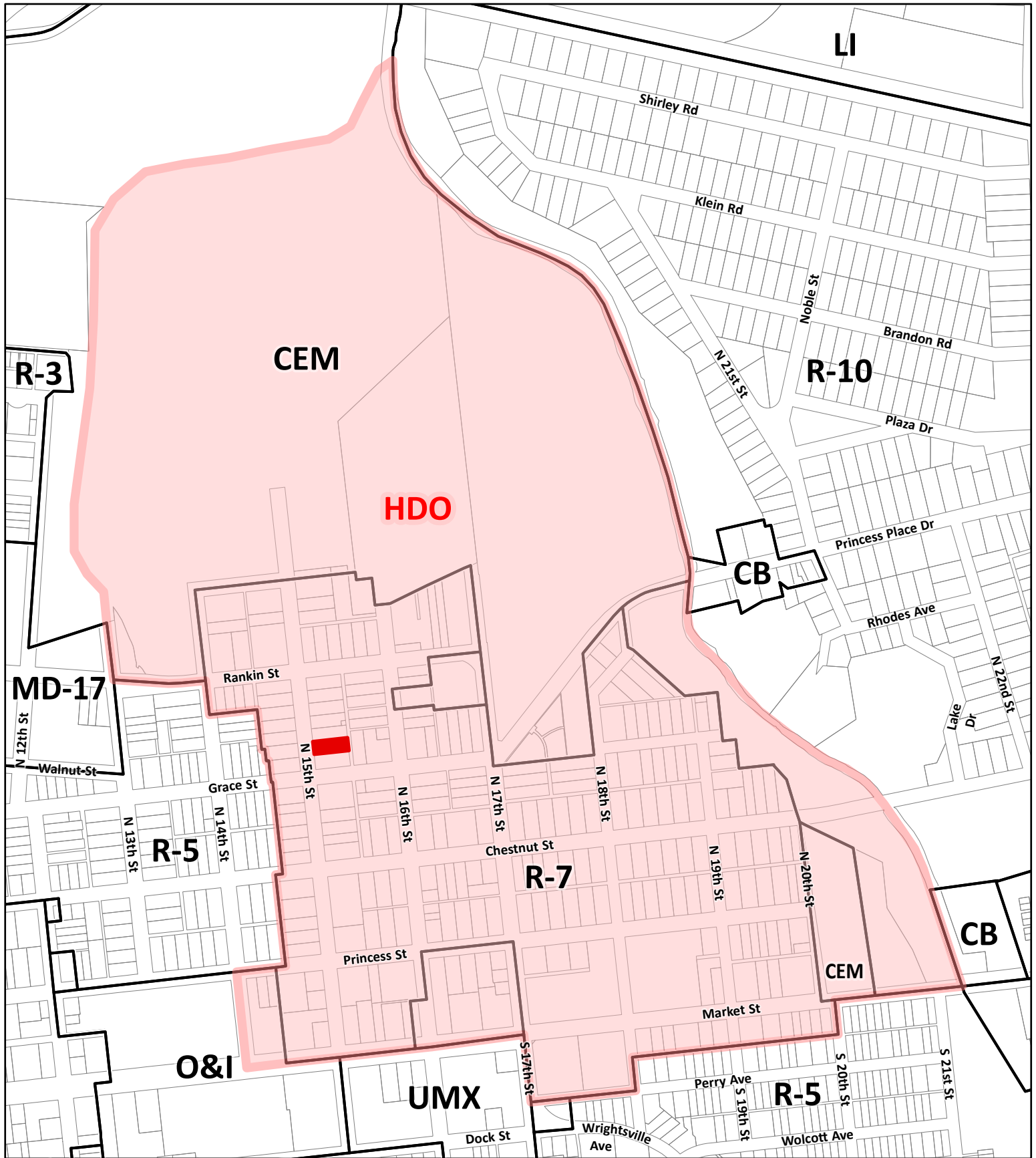
Historic Preservation Commission

MJW-08-2609 Attachment 2 — Case Map

304 N 15th St

7/11/2025



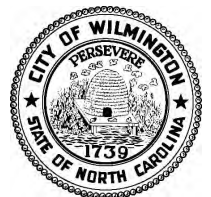


Historic Preservation Commission

MJW-08-2609 Attachment 3 — District Map

304 N 15th St

7/11/2025



CERTIFICATE OF APPROPRIATENESS APPLICATION

MAJOR WORK

NEW CONSTRUCTION INFORMATION

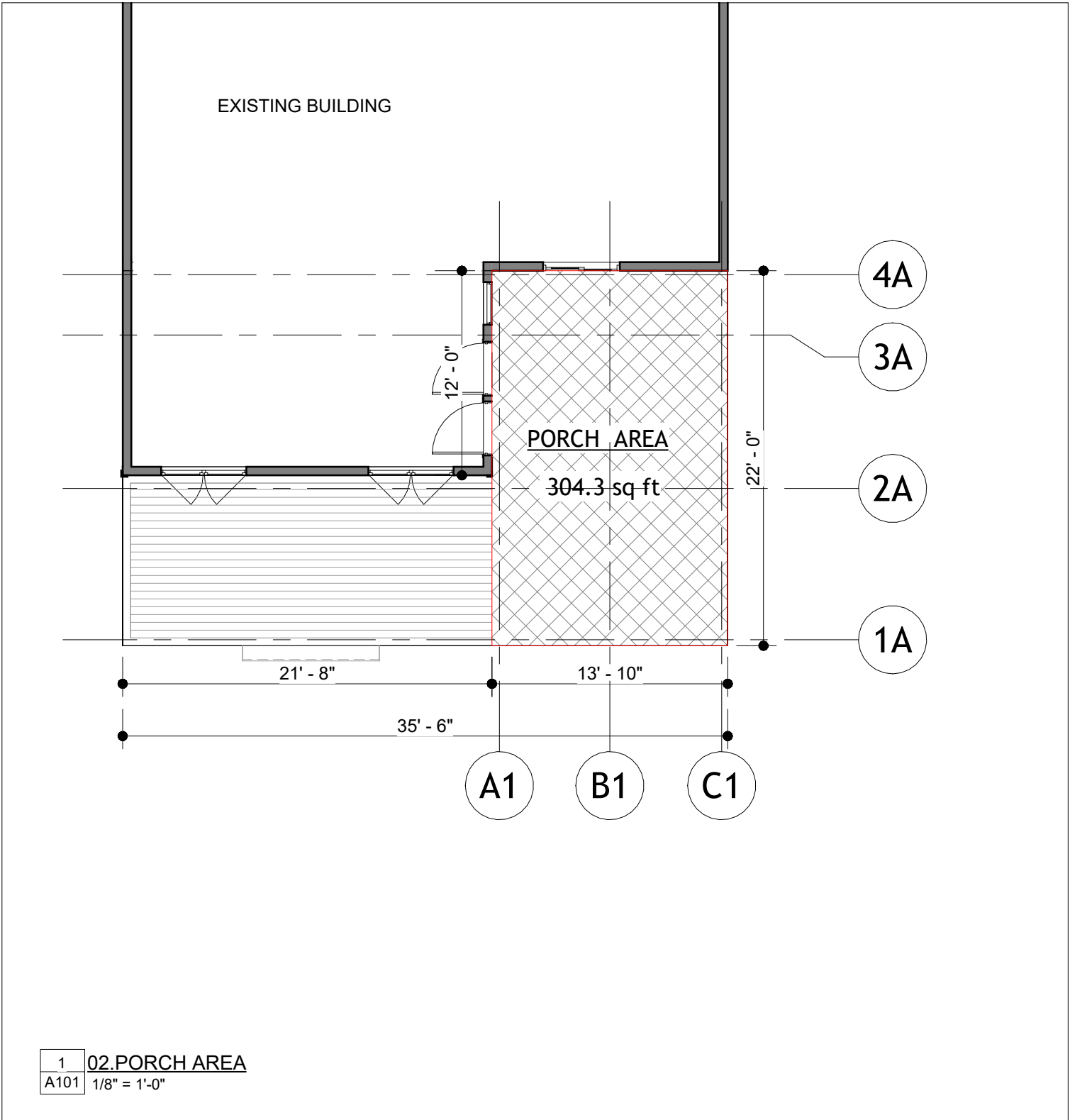
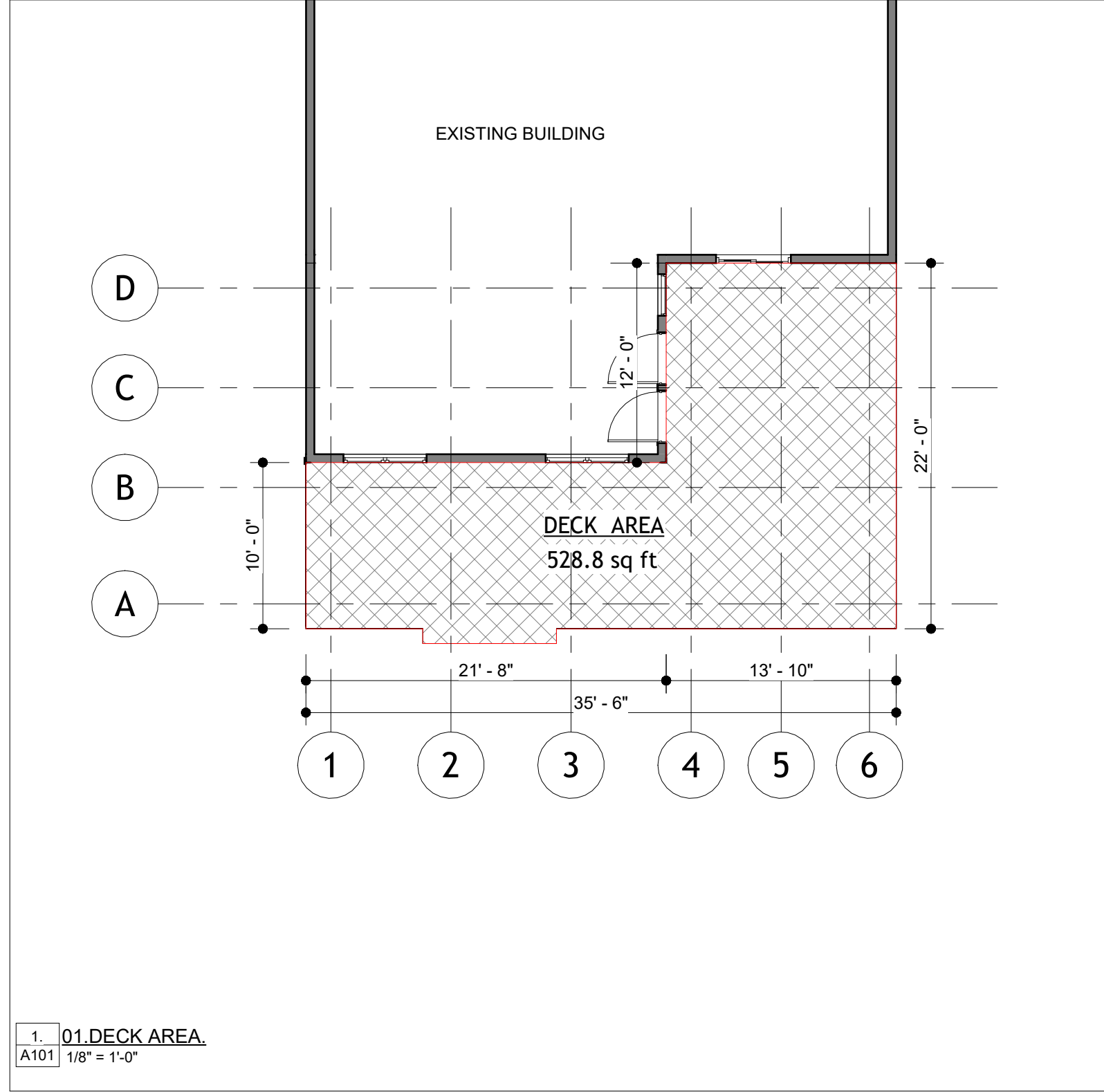
Complete one sheet for each new building or structure in order to address all of the project components. Please use continuation sheets if necessary.

Building Element	Proposed Materials, Dimensions, Color
Roof (Roof Pitch / Material / Color)	
Main	2/12 pitch screen porch, Shingles Roofing, Black.
Front Porch / Side Porch / Rear Porch	15'2" from grade to top of roof of screen porch. deck under porch to be 3/2" from grade to top of decking.
Height (avg. grade to peak of roof)	2/12 pitch. 11'5" from grade to top of roof. deck to be 1'2" from grade to top of decking.
Cladding	
Body of building	Wood SYP siding for the screen porch sides. Requesting permission to do Hardie siding/trim if permissible.
Additional (Reveal, Finish, Mortar Color)	Trim to also be SYP #2 treated painted in white. Requesting permission to do Hardie Trim painted white if permissible.
Foundation	
Materials (including color and height)	Porch will be over part of composite deck. Deck fascias to be in same composite material as decking. (Deckorators Voyage Decking in Costa Color. Meant to resemble look of real wood).
Porch (Materials & Dimensions)	
Columns (capital and base)	Exposed 6x6 wood columns to be painted white. Deck/Porch: 12'x21'10"
Stairs and Railing (include dimensions)	No railings.
Decking (floorboards)	Deckorators mineral based composite decking from Voyage collection in the Costa color.
Balustrade / railing (top cap and bottom)	No railings.
Balustrade - individual balusters	No railings.
Ceiling (material, design, dimensions)	SYP 1x6 tongue and groove planks ceiling size: 13'10"x22'.
Screens (only on rear)	Screened using screen tight system and Phifer pet screen mesh.

CERTIFICATE OF APPROPRIATENESS APPLICATION

MAJOR WORK

Deck (Materials and Dimensions)	
Posts	6x6 pressure treated posts.
Balustrade / railing (top cap and bottom)	no railings
Balustrade - individual balusters	no railings
Foundation (height and materials)	Deck Height: 1'2" from grade to top of decking.
Entry steps and railings	1 set of 6ft wide steps to the deck.
Doors (Materials and Dimensions)	
Front entry	Screen porch door to be a wood screen door.
Sides (specify location)	n/a
Rear	n/a
Windows (Materials, Style, Dimensions)	
Front	no windows.
Sides	no windows.
Rear	no windows.
Gutters and Downspouts	
	White aluminum gutters and downspout.
Driveway	
Dimensions	no driveway
Curb, Apron and Runner Materials	n/a
Any Additional Materials	
Decking alternative:	In the event that the board does not find the composite decking to be suitable. We would like to request for the use of either premium pressure treated decking or another composite alternative approved in the same meeting. Structure is on back of the house not facing the street.



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304 N 15th St,
Wilmington, NC 28401,
Structural Plans

No.	Description	Date

AREAS

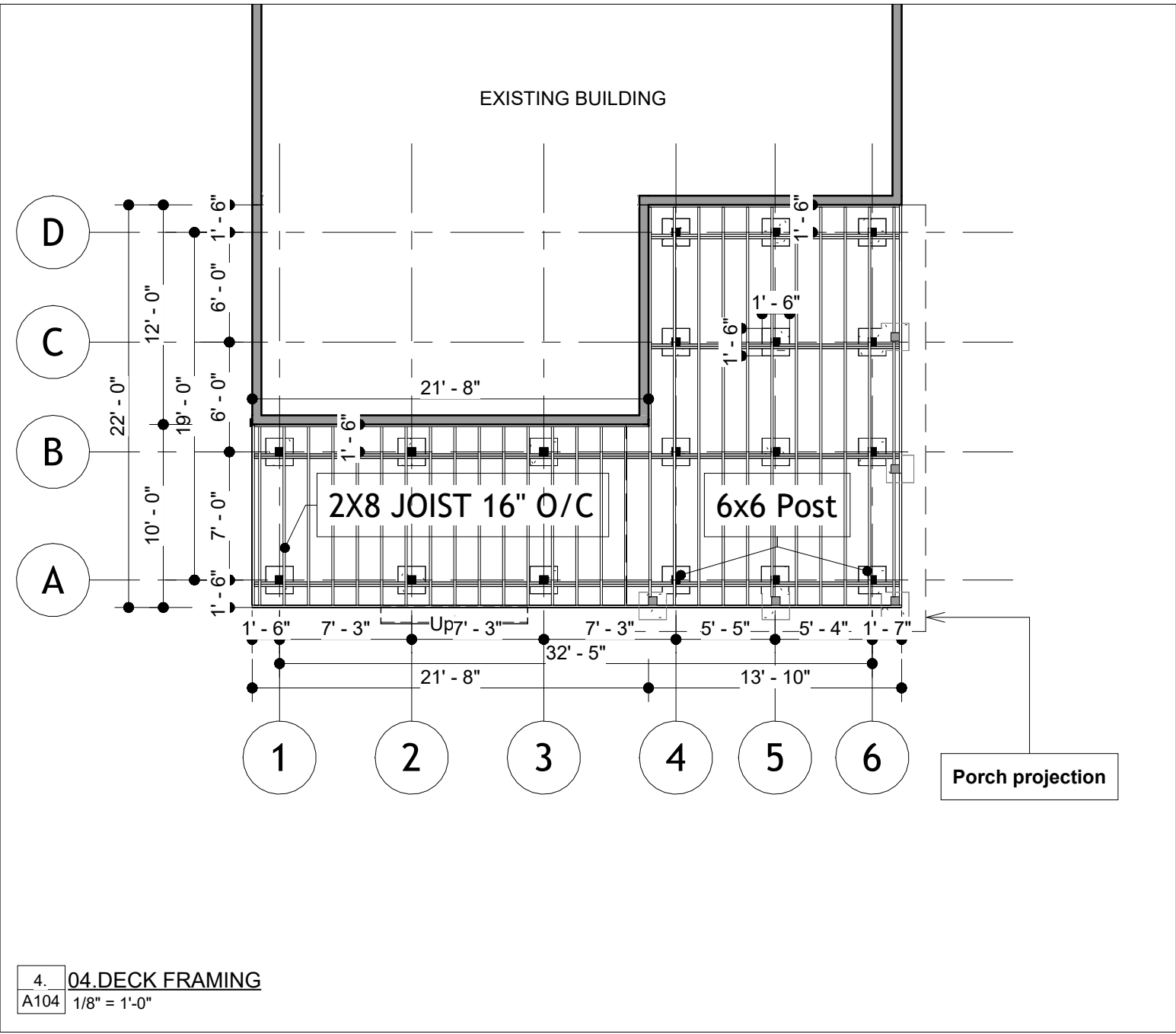
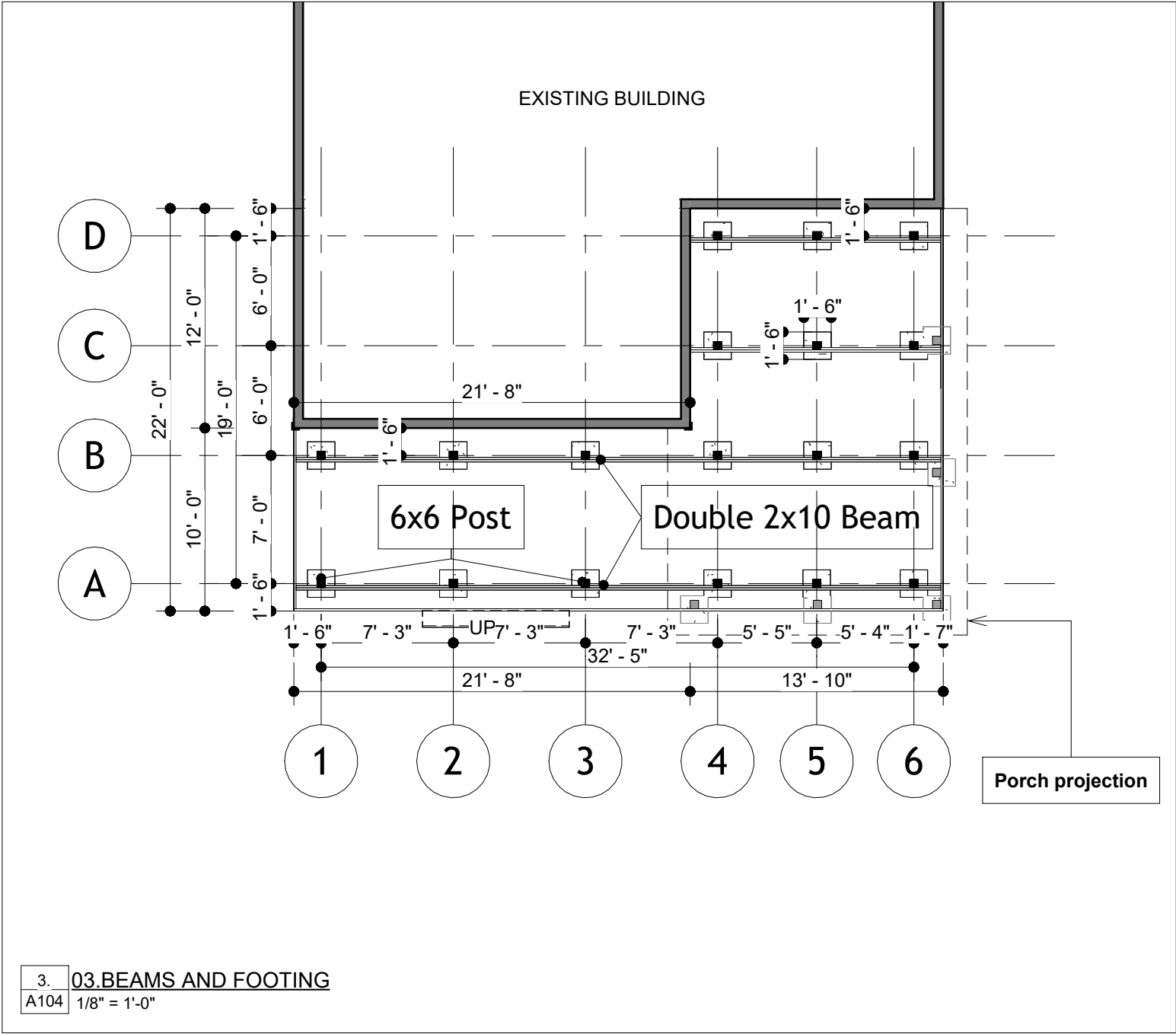
Project number	0001
Date	23/06/2025
Drawn by	Autor
Checked by	Verificador

A101

Scale 1/8" = 1'-0"

DECK FRAMING NOTES:

- 1. The new deck will be structurally detached from the house. It will have a height of 10" from grade to top of decking. Size of the deck is bigger than that of the porch.
- 2. 6x6 posts embedded in 18"x18" concrete footers will support the 2x10 dropped beams. See footings detail on page 4.
- 3. The double 2x10 dropped beams will attach to the 6x6 posts using 5/8" through bolts.
- 4. The 2x8 joists will be on a 16" O/C layout. These will attach to the dropped beams using Simpson H2.5 hurricane clips.
- 5. The stairs where needed will be box framed using 2x8 joists 12" o/c.
- 6. No guardrails will be installed as the deck is under 28" in height.
- 7. SYP pressure treated lumber rated for Ground contact use will be the framing lumber material of choice.



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304 N 15th St,
Wilmington, NC 28401,
Structural Plans

No.	Description	Date

BEAM FOOTING - DECK FRAMING

Project number	0001
Date	23/06/2025
Drawn by	Autor
Checked by	Verificador

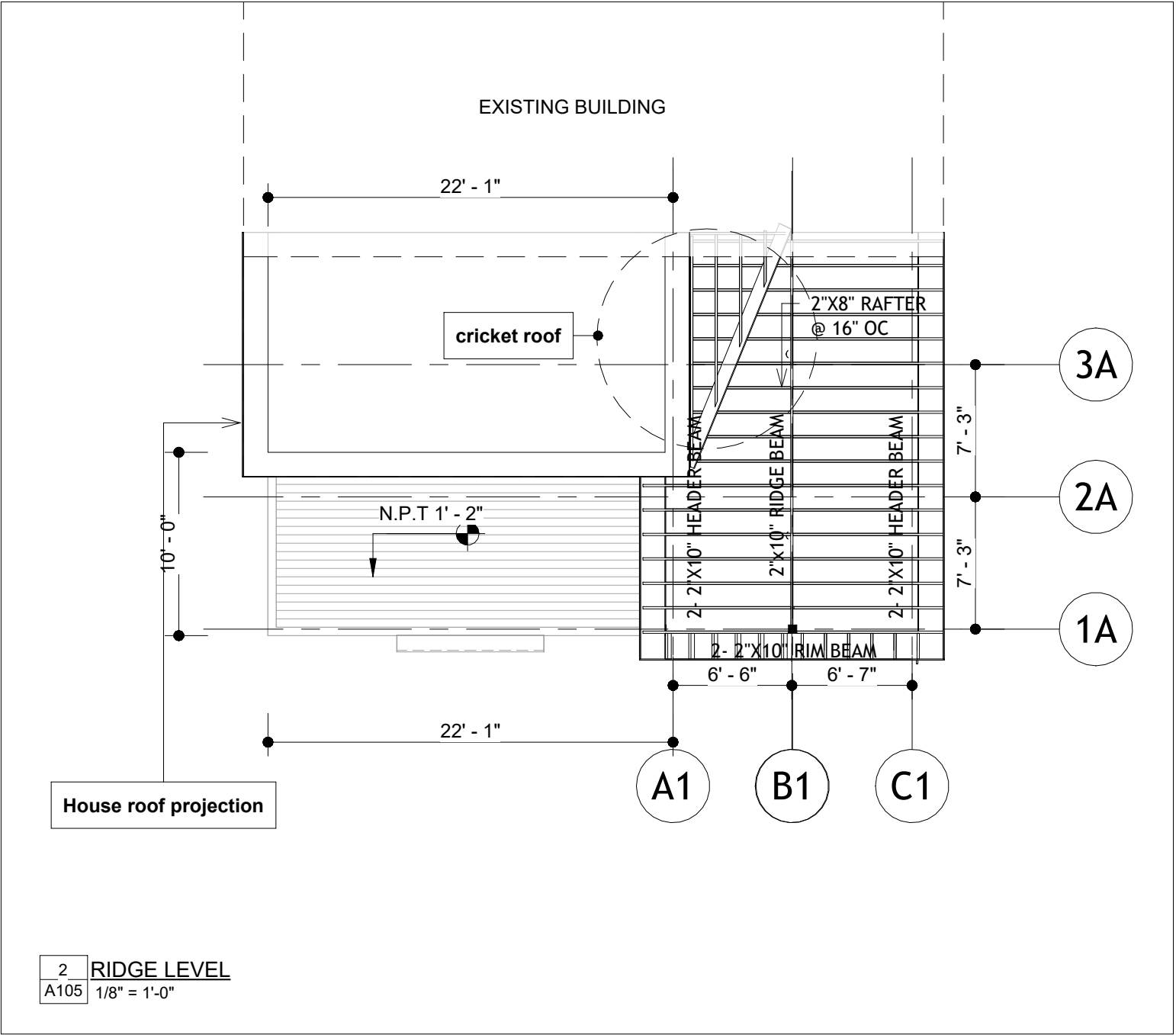
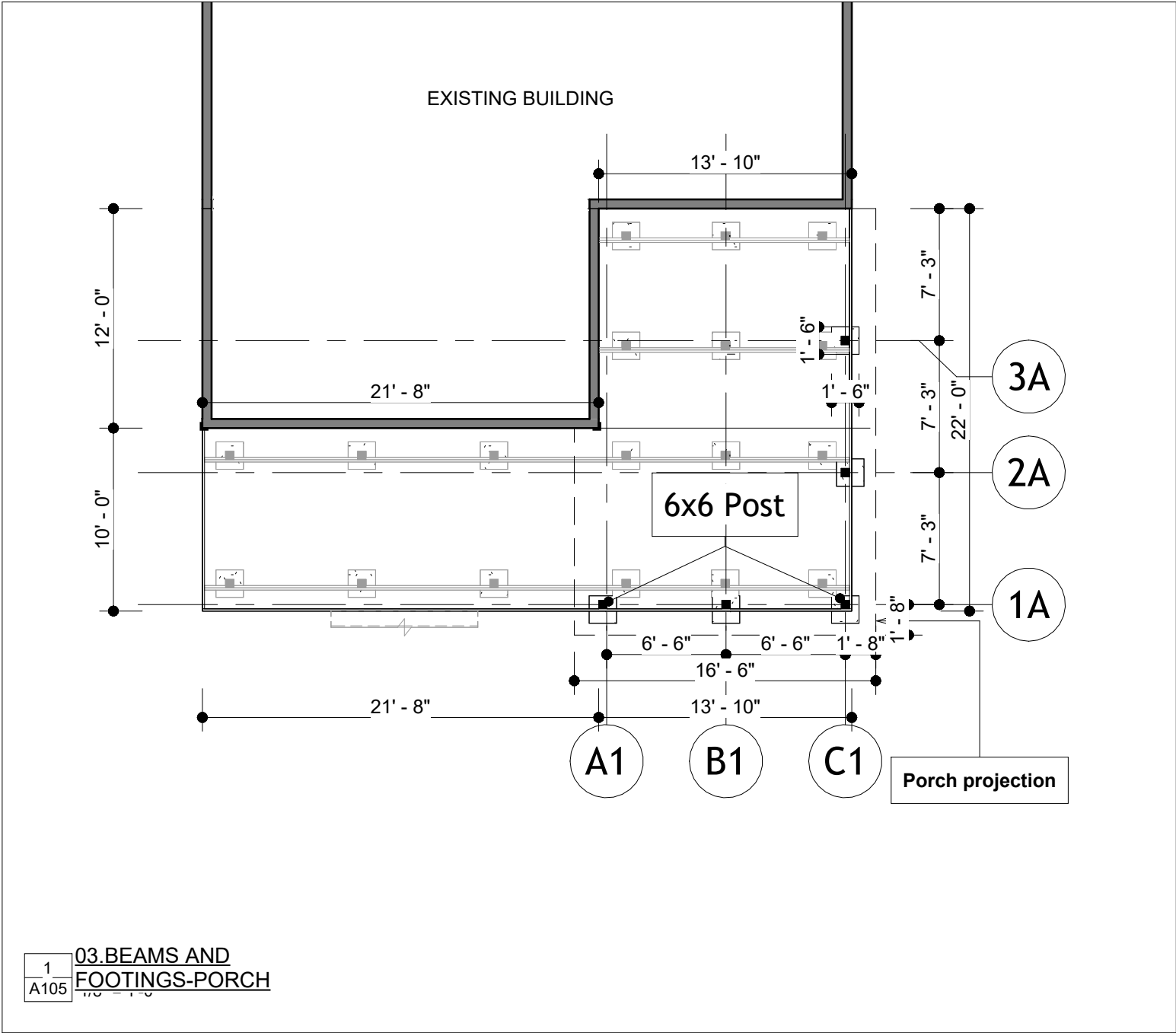
A104

Scale 1/8" = 1'-0"

SCREEN PORCH FRAMING NOTES:

- 1. A 13'10"FT x 22' "A" frame screened in porch with 12" of overhang will be erected over part of the new deck.
- 2. This structure will attach to the house and part of the existing roofline. The roof will have a 3/12 pitch.
- 3. 6x6 posts embedded in 30"x30"x30" concrete footers will support the double 2x10 headers.
- 4. 5/8" through bolts will be used to fasten the headers to the 6x6 posts.
- 5. 2x8 rafters (16" O/C) will attach to the headers using simpson h2.5 clips, 2 per connection.
- 6. Simpson LUZ hangers will be used to attach the header beams to the house.
- 7. WSWH5-EXT-5-in screws or Simpson equivalent, every 12" will be used to fasten the rafter up against the house to the house wall.
- 8. 7/16" OSB sheathing followed by #15 felt paper, and metal roofing will be installed over the 2x8 rafters.

9. Collar and rafter ties will be installed as needed per code requirement



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304 N 15th St,
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Structural Plans

No.	Description	Date

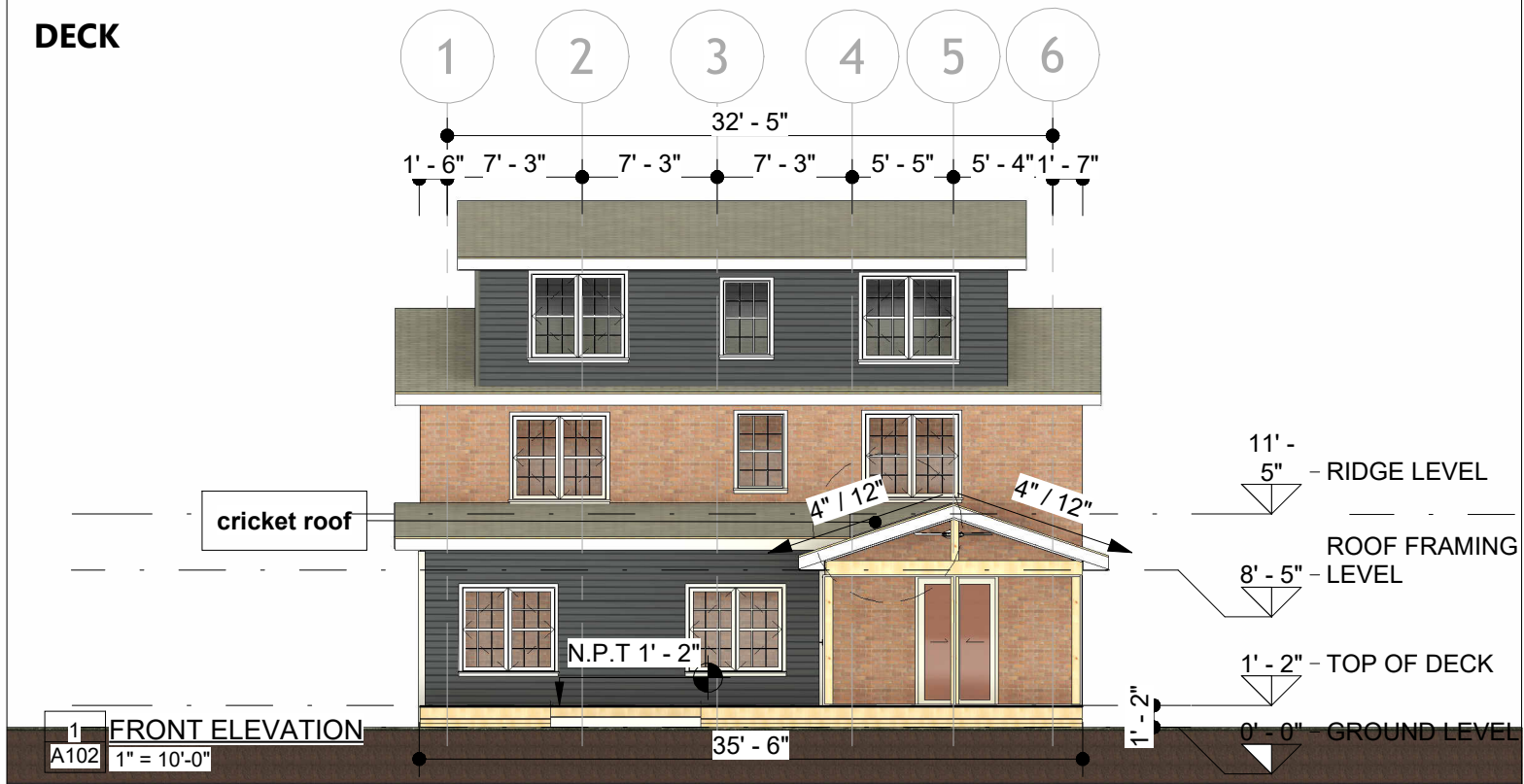
BEAM FOOTING - PORCH FRAMING

Project number 0001
Date 23/06/2025
Drawn by Autor
Checked by Verificador

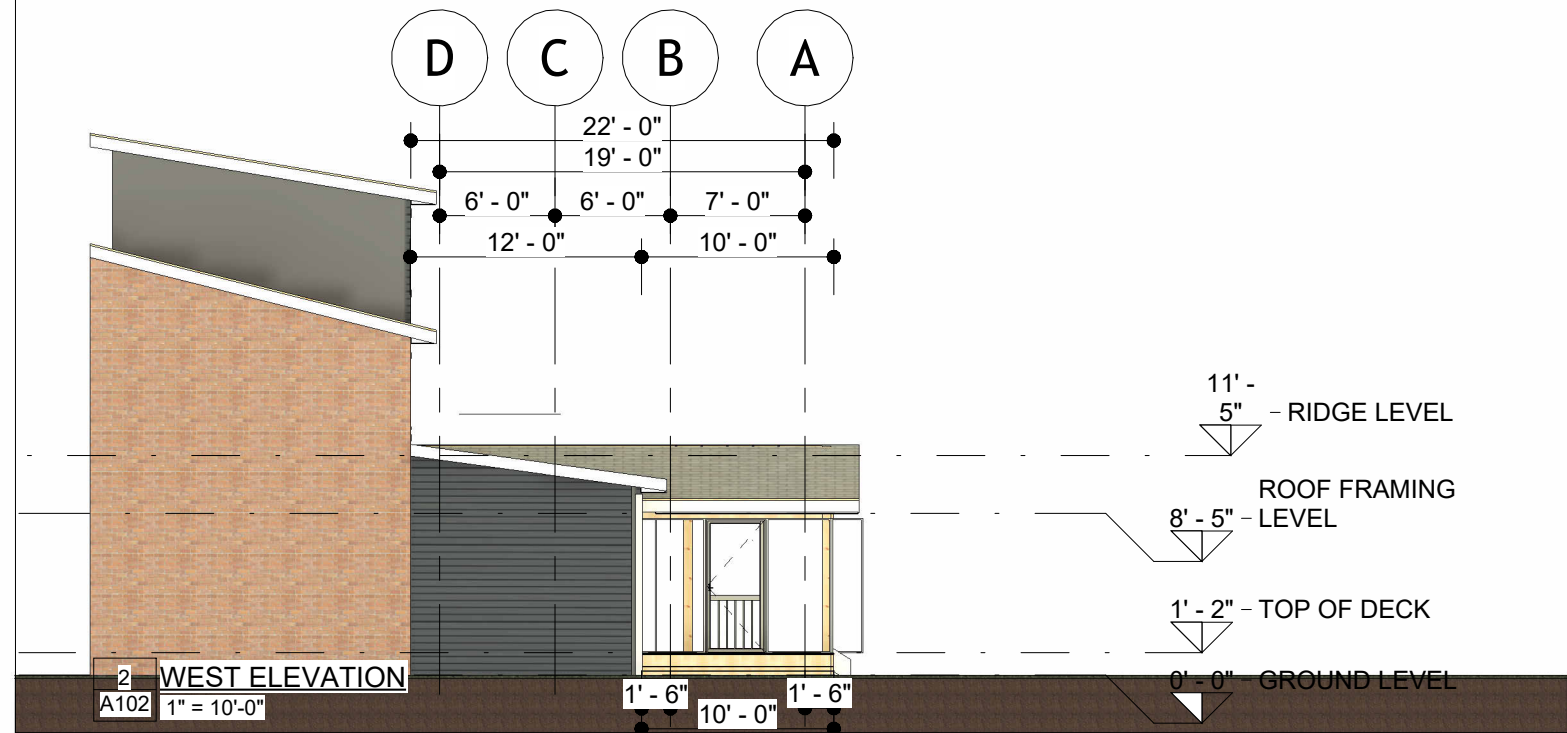
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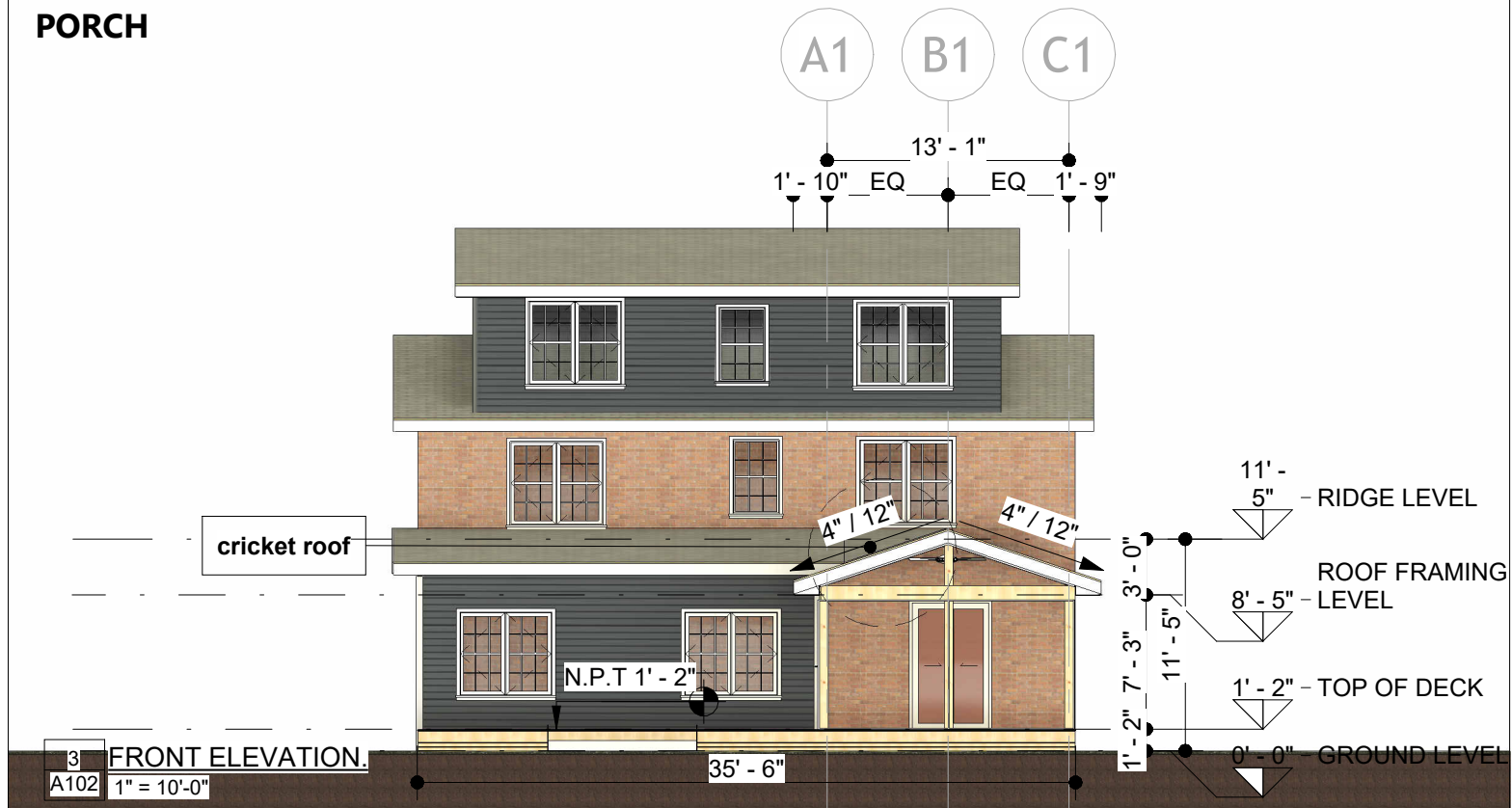
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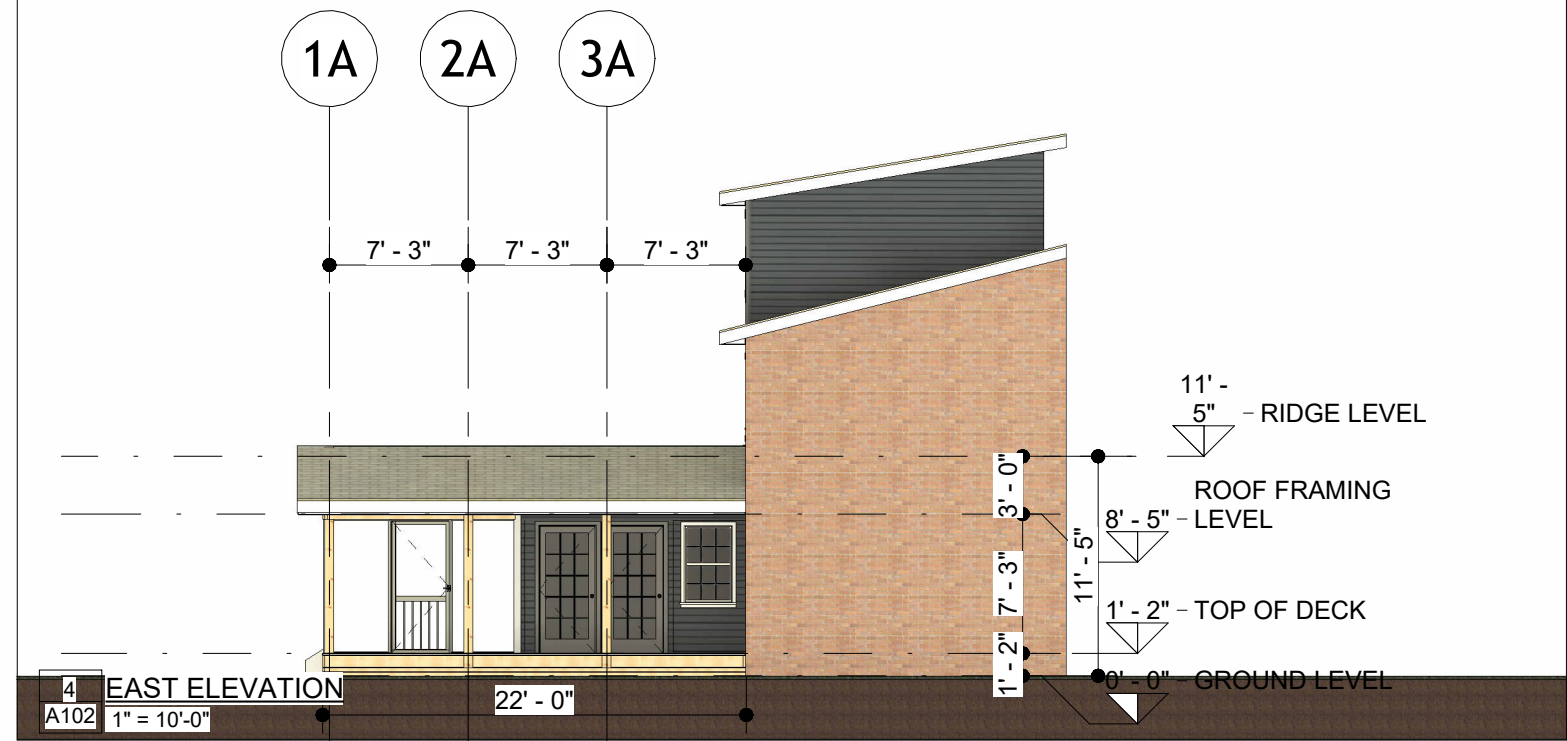
DECK



PORCH



PORCH



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304 N 15th St,
Wilmington, NC 28401,
Structural Plans

No.	Description	Date

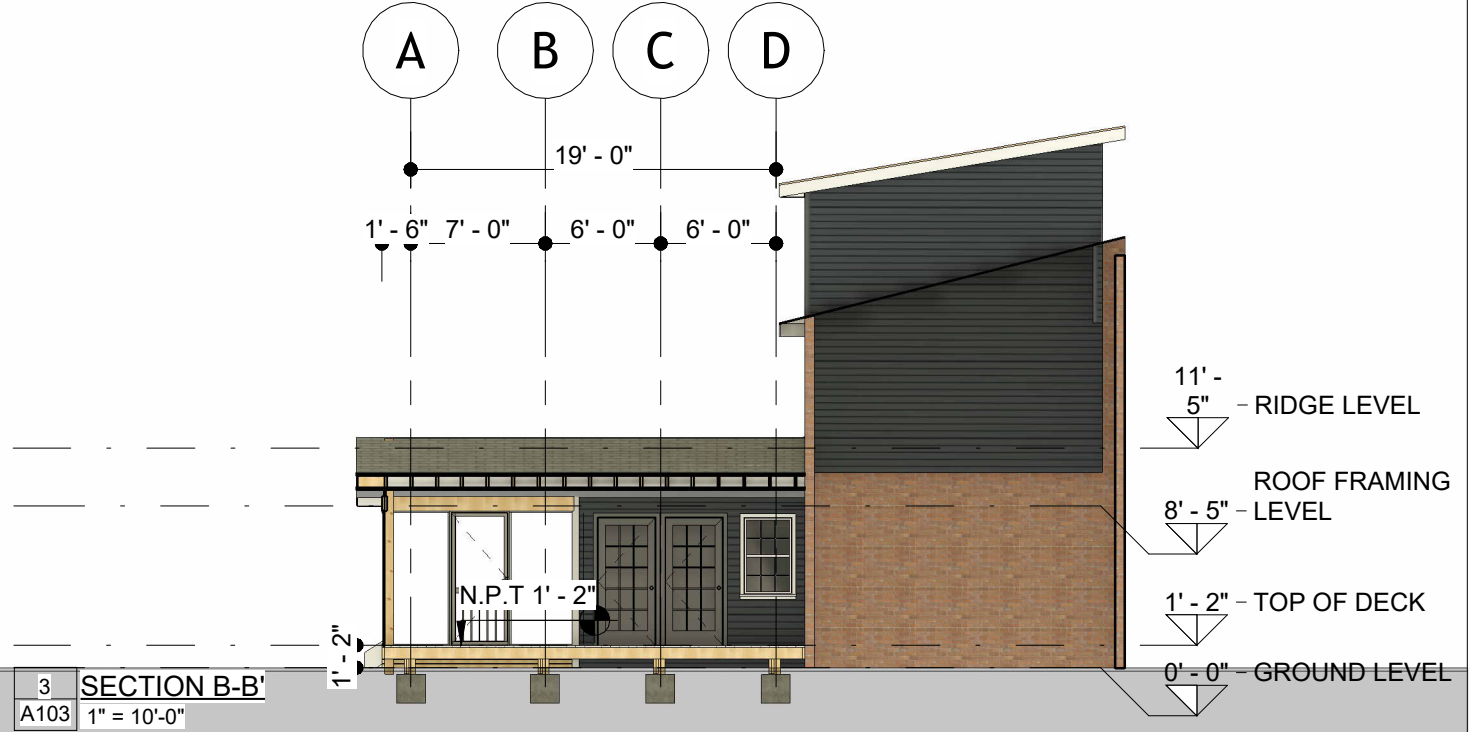
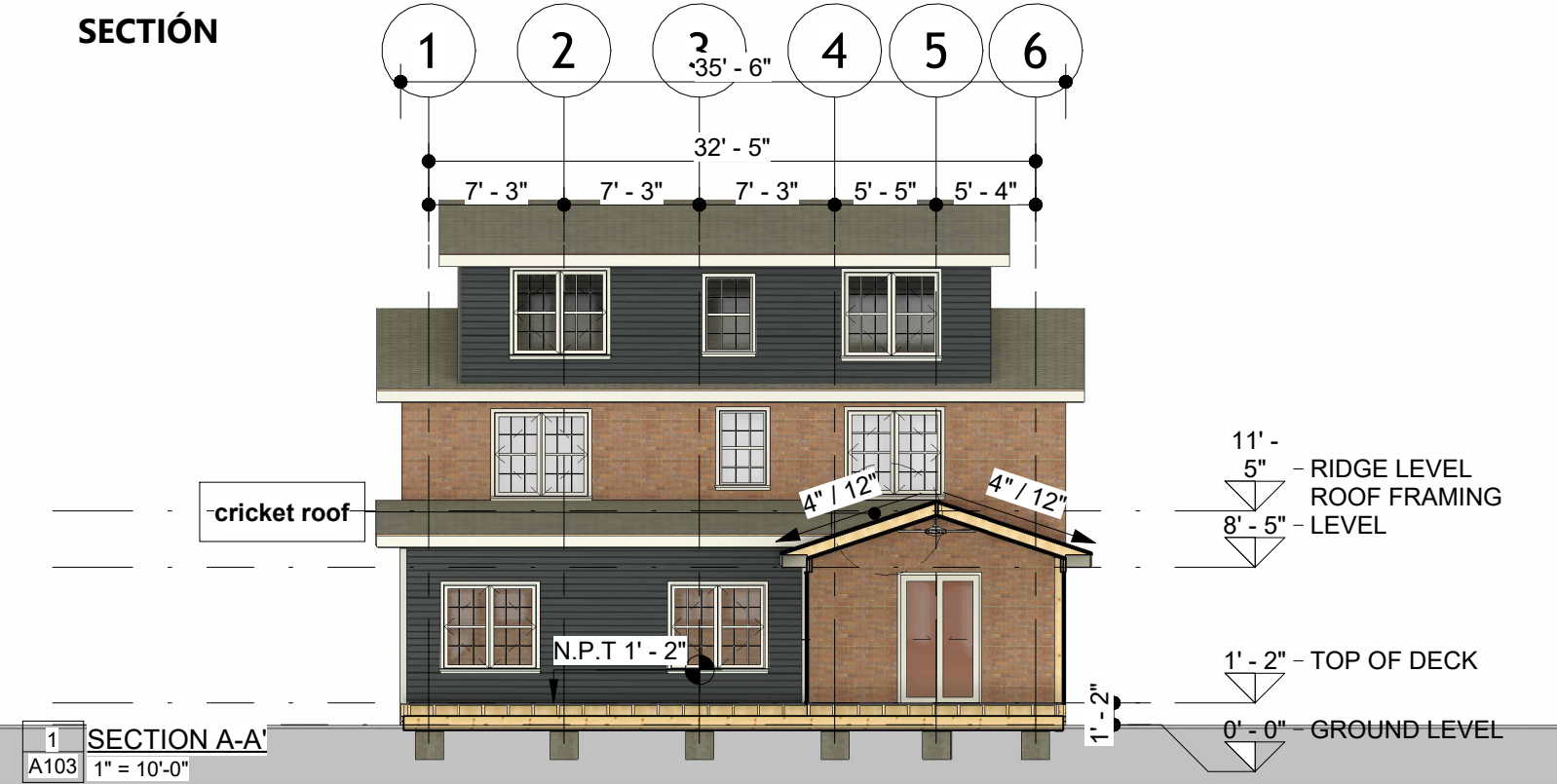
ELEVATIONS

Project number	0001
Date	23/06/2025
Drawn by	Autor
Checked by	Verificador

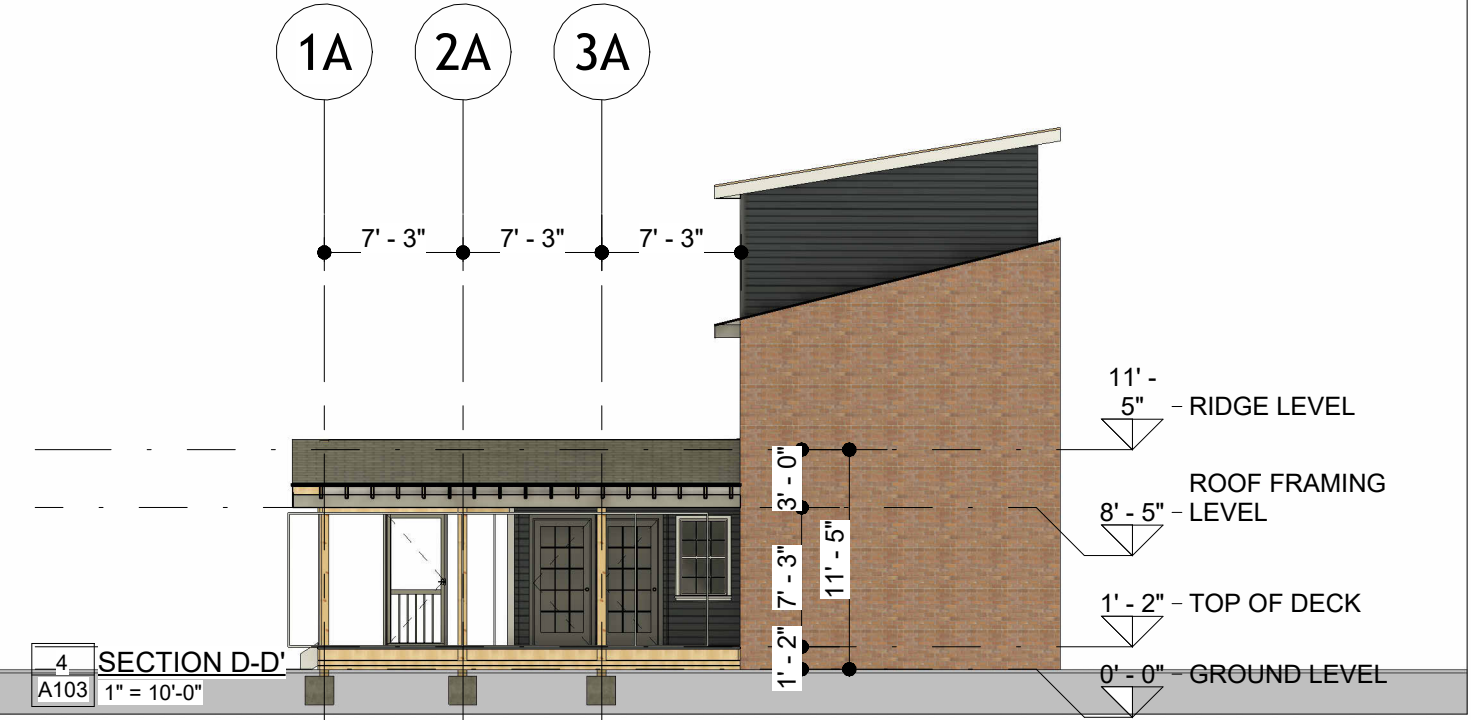
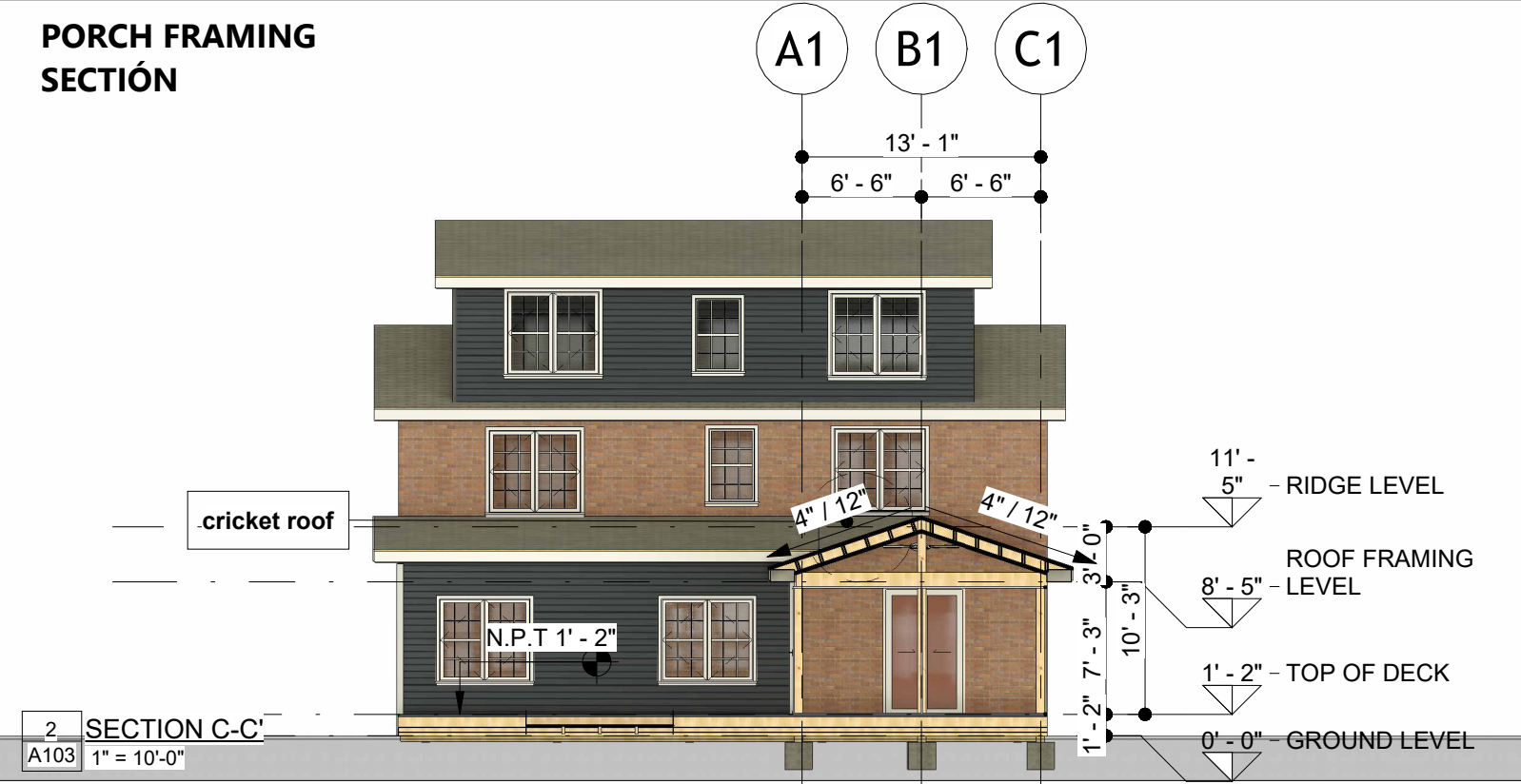
A102

Scale 1" = 10'-0"

DECK FRAMING
SECCIÓN



PORCH FRAMING
SECCIÓN



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Wilmington, NC 28401,
Structural Plans

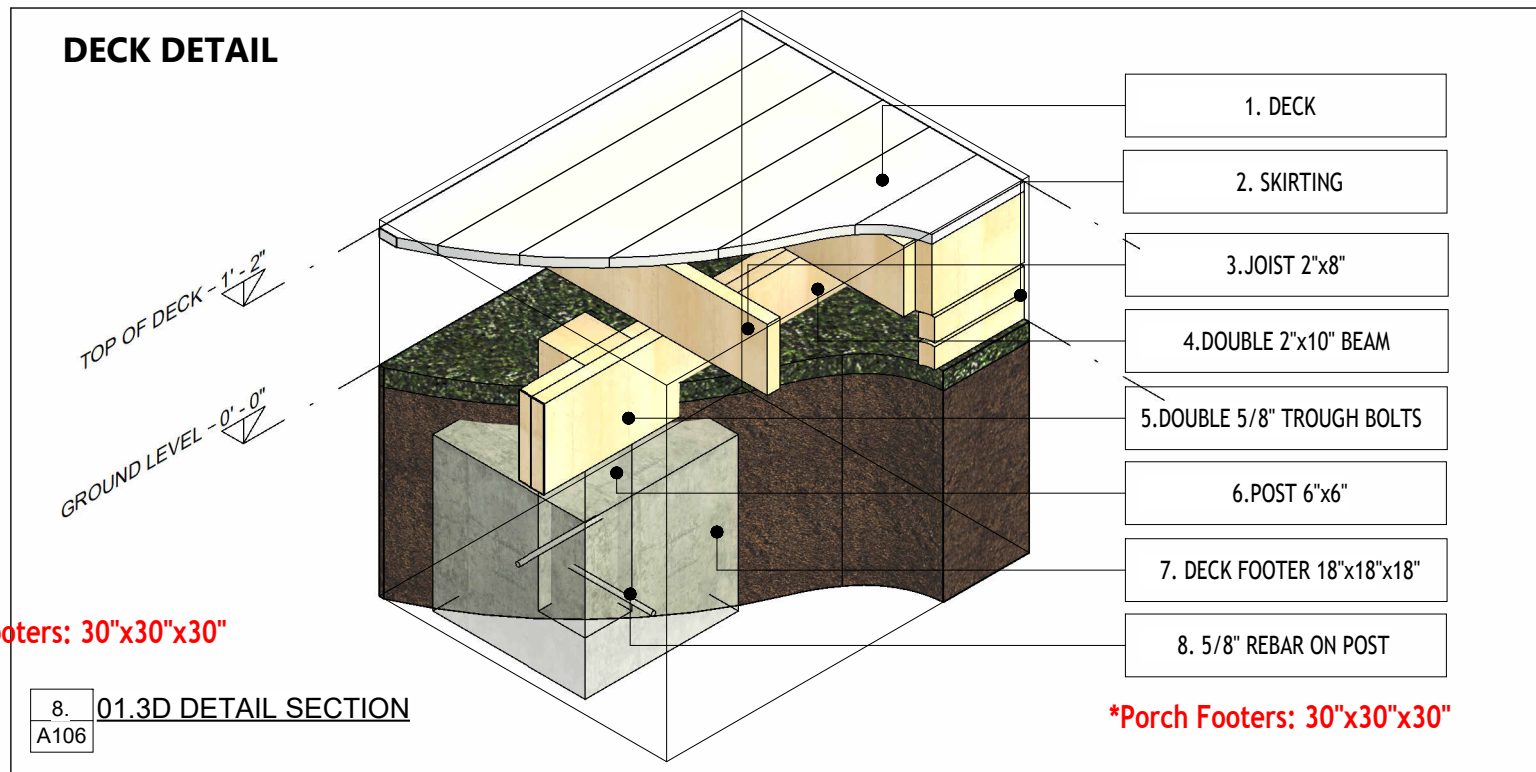
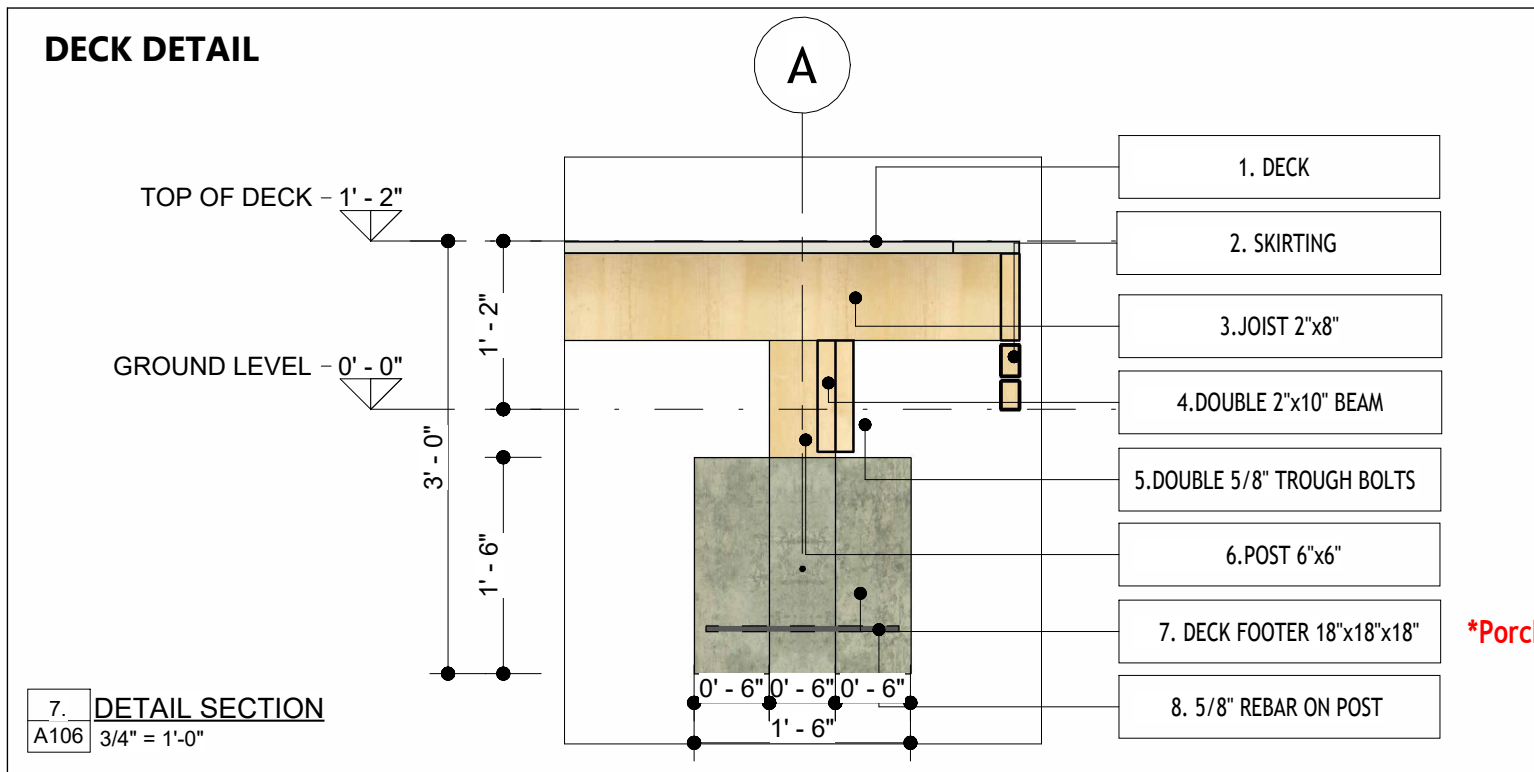
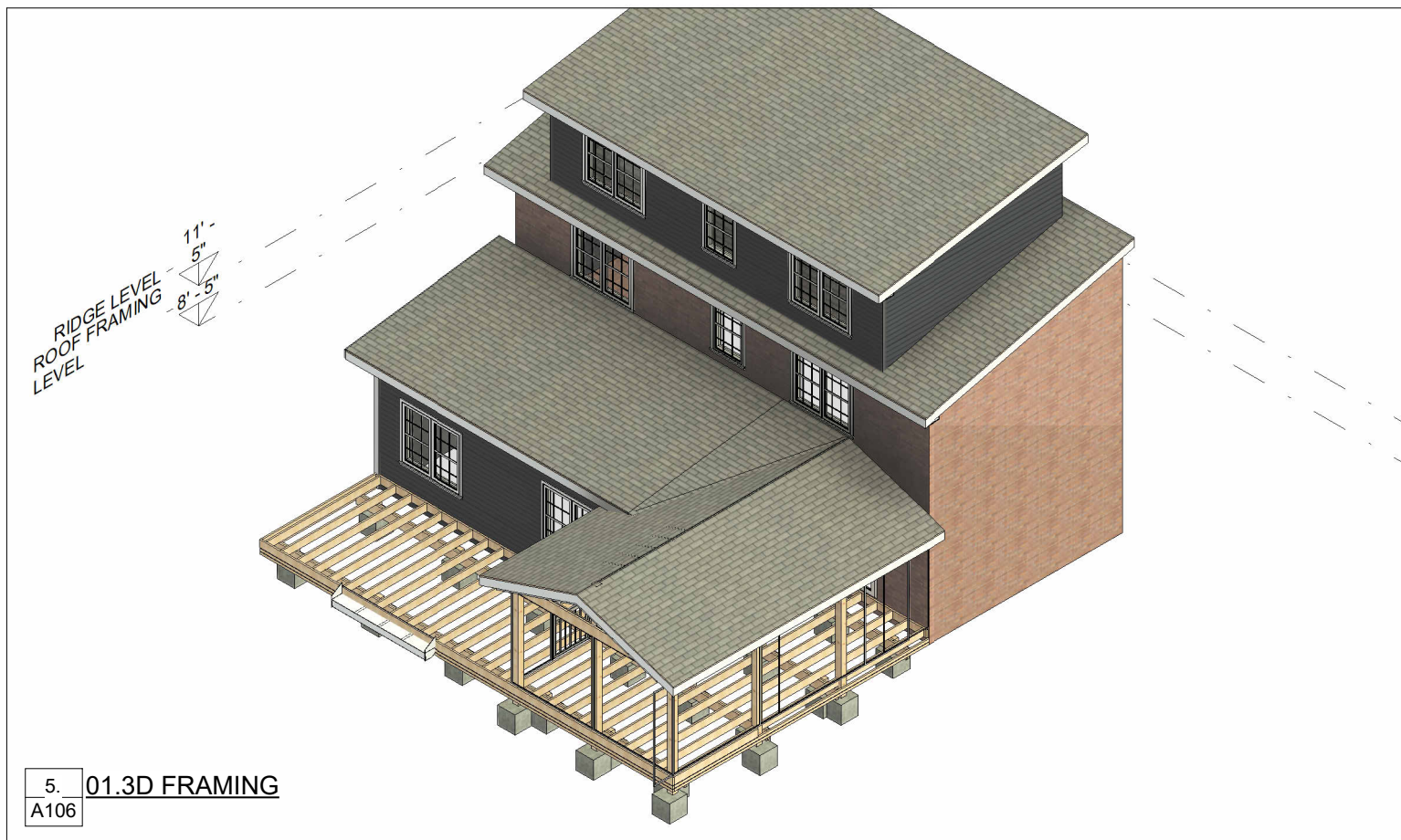
No.	Description	Date

SECTIONS

Project number	0001
Date	23/06/2025
Drawn by	Autor
Checked by	Verificador

A103

Scale 1" = 10'-0"



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304 N 15th St,
Wilmington, NC 28401,
Structural Plans

No.	Description	Date

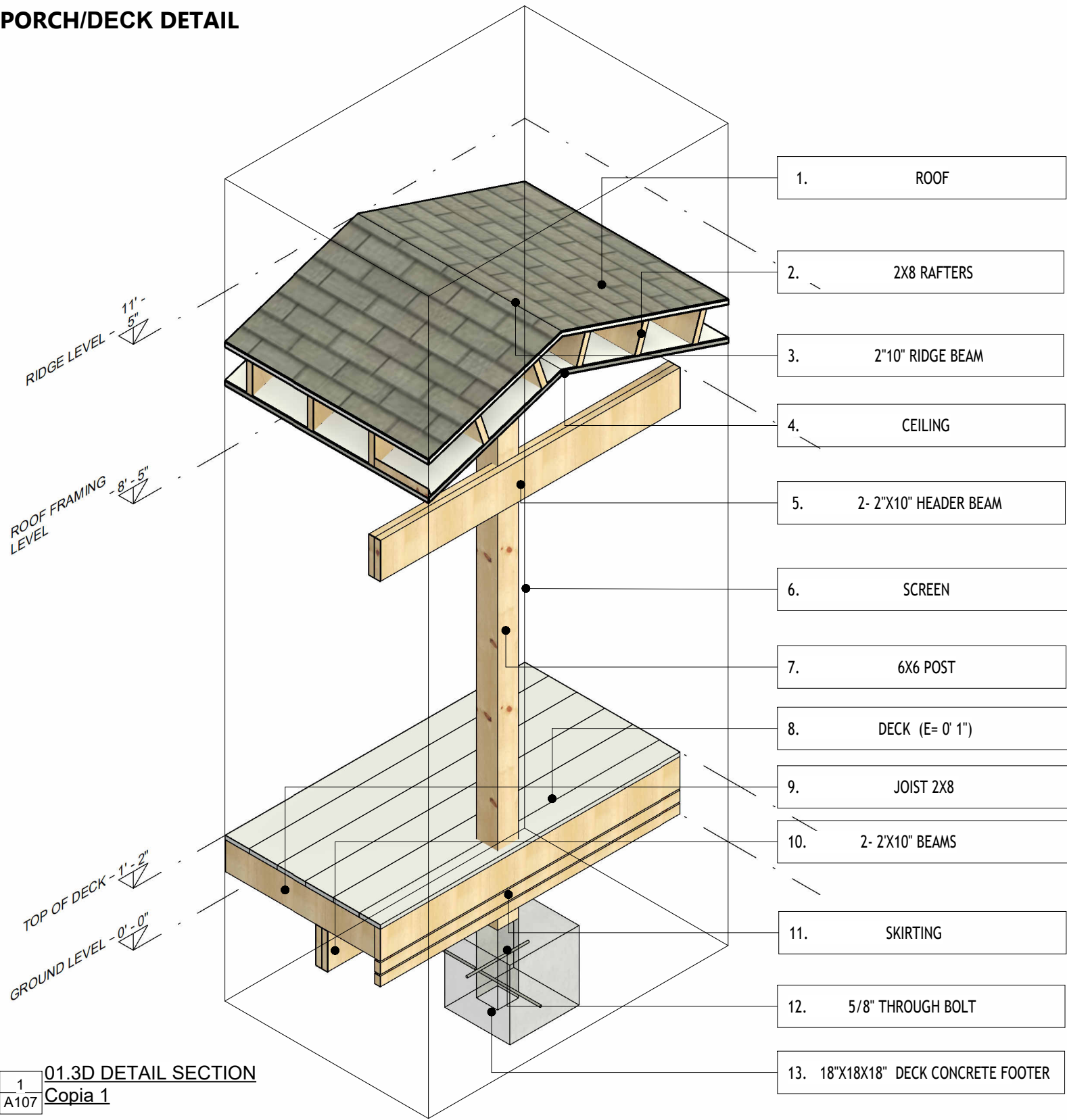
3D FRAMING -DETAIL SECTION

Project number 0001
Date 23/06/2025
Drawn by Autor
Checked by Verificador

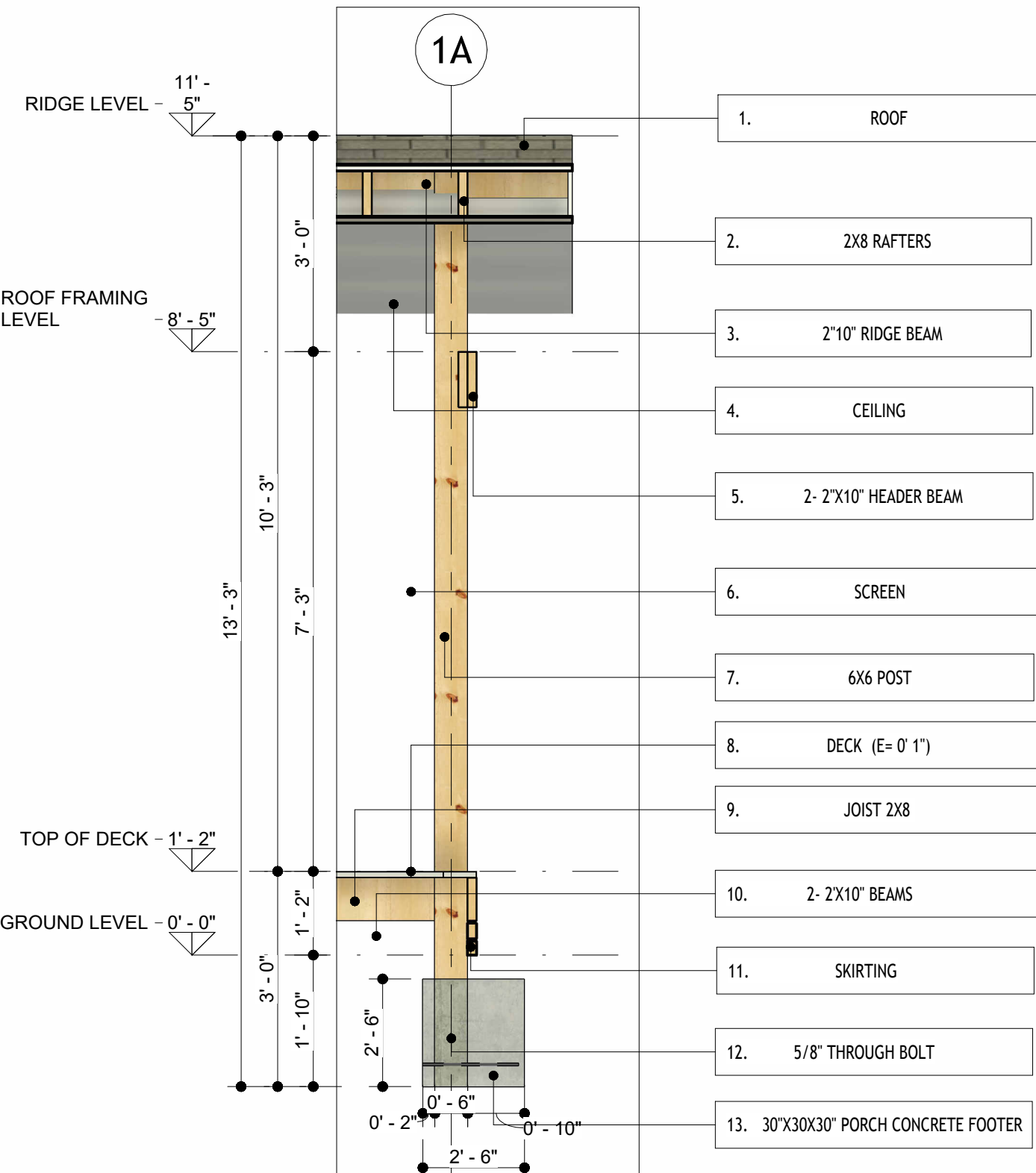
A106

Scale 3/4" = 1'-0"

PORCH/DECK DETAIL



PORCH/DECK DETAIL



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304 N 15th St,
Wilmington, NC 28401,
Structural Plans

No.	Description	Date

DETAIL SECTION - PORCH

Project number	0001
Date	23/06/2025
Drawn by	Autor
Checked by	Verificador

A107

Scale 1/2" = 1'-0"