



Finance

Purchasing Division
929 North Front
Street, 10th Floor
P O Box 1810
Wilmington, NC 28402-1810

910 341-7830
910 341-7842 fax
wilmingtonnc.gov
Dial 711
TTY/Voice

**ADDENDUM NUMBER 2
SKYLINE CENTER
4TH and 7TH FLOOR RENOVATIONS
PB-BMH-1025**

November 06, 2025

To all holders of PB-BMH-1025 Bid Documents: Please be advised of the following questions and responses:

1. PLEASE SEE THE ATTACHED

Acknowledge receipt of this Addendum in the space provided in the Proposal. Failure to do so may disqualify the Bidder.

Christine R. Karem, Sr. Contract Specialist
M/WBE Coordinator
Purchasing Division
END OF ADDENDUM TWO

Addendum 2
Page 1 of 12



514 Market Street Wilmington, NC 28401
phone 910.762.2621
www.bmharch.com

November 5, 2025

ADDENDUM #2

City of Wilmington Skyline Center
Level 4th and 7th Renovations
Wilmington, North Carolina
PB-BMH-1025

To all holders of Bid Documents, please be advised of the following:

This addendum forms a part of the contract documents and modifies the original drawings dated September 30, 2025. The enclosed additions, deletions, corrections, and changes shall be as binding as if incorporated in the original documents. All General Conditions, Special Conditions, etc. as originally specified shall apply to these items. Acknowledgement of receipt of this addendum will be required as part of the contract agreement.

- Item 1:** **The bid date, time, and place remain as previously changed.** The bid date is November 13, 2025. The bid time is 3:00 pm. The bid location is the Purchasing Division, 929 N. Front Street, 10th Floor, Room 1069, Wilmington, NC.
- Item 2:** **Pre-bid Agenda and Attendance List**
A second Non-mandatory pre-bid conference was held on Thursday, October 9, 2025, in the Skyline Center, Room 154B. See **Attachment #1** for the agenda and attendance list. Attendance at the pre-bid conference is NOT mandatory for contractors to submit a bid.
- Item 3:** **Unit Price #1**
Unit Price #1 will consist of a turnkey cost to replace the existing 2X4 fluorescent lay-in lights with new 2x4 LED lay-in lights. Quote a quantity of ten lights per unit cost. Basis of design - Lithonia Lighting by Acuity, B Model, #STAK 2X4 5000LM 80CRI 35K COL MIN10 ZT MVOLT, Color: White
- Item 4:** **Bid Communication**
All questions and building access shall be directed to Darrell McCall, Facility Superintendent. Email contact and inquiries are referred.
darrell.mccall@wilmingtonnc.gov, 910-341-4610 office, 910-538-8942 cell
- Item 5:** **Drawings – Additional carpet scope has been added on Sheets A-101 and A-102**
Level 4 Common corridors and two east conference rooms shall receive new carpeting and resilient base under a new Add Alternate #5 as noted on Sheet A-101. Included as **Attachment #2**.
Level 7 Common corridors and two east conference rooms shall receive new carpeting and base, included in the Add Alternate #1 as noted on Sheet A-102. A small correction on a Bud Suite note was also made and clouded. Included as **Attachment #2**.

- Item 6: Drawings – Missing Sheet A-103 and mislabeled Sheet Ep1.4**
Sheet A-103.1 was accidentally omitted from the initial Web posting, is included as **Attachment #2** of this addendum. Sheet EP1.4 was mislabeled EP1.3 and has been relabeled EP1.4. This was initially included as a second Sheet EP1.3. The corrected versions are included as **Attachment #2**.
- Item 7: Drawing EP1.2 Clarification**
Keynote on EP1.2 refers to the Disconnect switch that is integral to the unit. The existing conduit and conductors need to be extended with like conduit and conductors to the unit's new location. Based on the Record Drawings, have this unit be fed from a 301 breaker with #10 conductors.
- Item 8: City Fire Alarm Vendor Sentinel Clarifications**
The City's fire alarm vendor shall provide individual quotes for the base bid and each alternate that contains a fire alarm scope. The ceiling speakers are also under the fire alarm scope as part of the emergency voice/alarm communication system. The project, once launched, will have a single mobilization for the portion of work awarded rather than sequenced.
- Item 9: Graphic Scale and Scale Tag Correction**
The graphic scales and tags were published in error for sheets A-103, A-105, and A-105, but dimensions and scaled drawings were correct. These three sheets have been revised and are included in Attachment #2.

Acknowledge receipt of this Addendum in the space provided on the Proposal is required. Failure to do so may disqualify the bidder.

Prepared by:
Bowman Murray Hemingway Architects, PC
Bruce Bowman, AIA
bowman@bmharch.com
910-617-3134 – c
910-762-2621 – o



Pre-Bid Conference Sign in Sheet 10/09/25, 10am

SKYLINE CENTER

4TH and 7TH FLOOR RENOVATIONS

Contract No: PB-BMH-1025

Bid Opening: Thursday November 13, 2025 @ 3:00 PM

929 North Front St., Wilmington, NC

Name	Company	Position	Phone	Email
Dennis Holloway	Pinnacle SECG	Director	910-494-4208	dholloway@pinnacle
Griffin Williford	Muter	Project Manager	252-315-6702	gwilliford@muterconstruction.com
Len Jenkins	Stonehenge	Project Manager	910-520-6812	plenjenkins66@gmail.com
Fervard Lopez	Nando's Painting LLC	Owner/Operator	910-443-3212	nandospainter@yahoo.com
Chuck Harrold/ Kurt Hoffman	Newcomb	GM/Install Manager	910-789-2104	charrod@newcombandcompany.com
Phillip James	BFPE INT	Sprinkler	910-409-8809	pjames@bfpe.com
Stephen Saieed/Jessica Smith	Masonboro Construction	Owner/Project Admin	910-443-3282	sdsaieed@masonboroconstruction.com
Andrew Godwin	AB Blake Electrical	VP	910-790-0245	andrew@abblakeelectrical.com
Jana Rosenlund	Bay Electric	Admin	960-370-3593	jan@bayelectricinc.com
Brandon Lehman	Watson Electric	Sr. Est.	703-789-4586	blehman@watsonelec.com
Mitch McRae	Flooring Solutions	Account Manager	843-206-9396	
Bruce Bowman	BMH	Architect		
Al Baumjous	Sentinal Security	President	910-395-6141	al@sentinalsystems.us



Pre-Bid Conference Sign in Sheet 10/09/25, 10am

SKYLINE CENTER

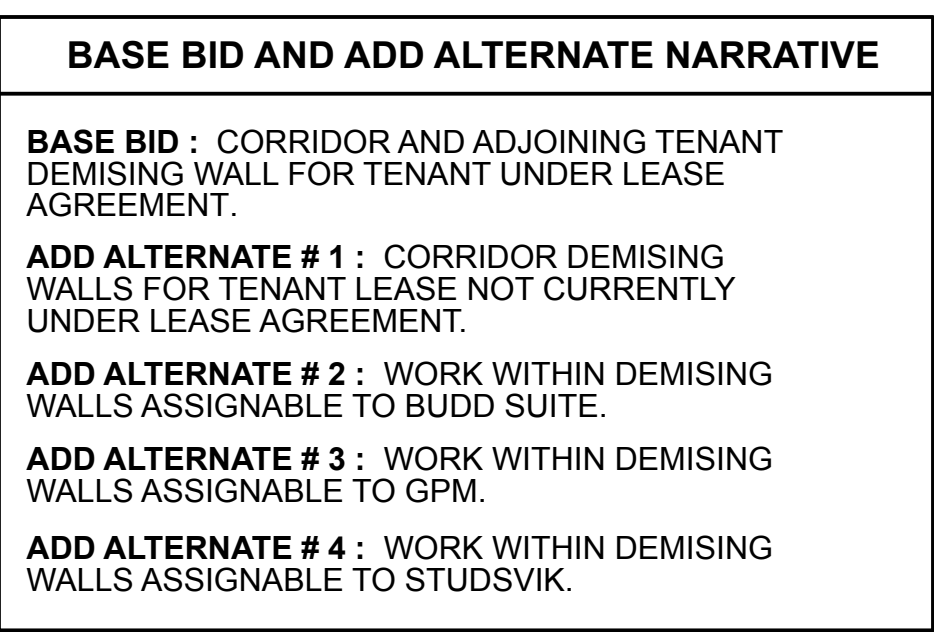
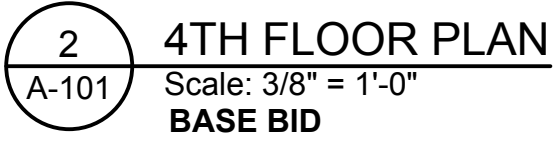
4TH and 7TH FLOOR RENOVATIONS

Contract No: PB-BMH-1025

Bid Opening: Thursday November 13, 2025 @ 3:00 PM

929 North Front St., Wilmington, NC

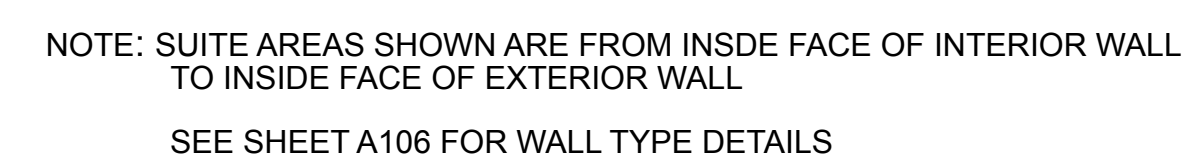
Name	Company	Position	Phone	Email
Eddie Burns/Chase Ruen	Bluewater HVAC		910-617-2532	edwinb@bluewaterplumbingservices.com
			910-259-0121	
George Ward	IMEC Group LLC		252-670-2681	estimatingnc@imecgroupllc.com
Jeremy Wilson	Commercial Doors & More LLC	President	919-868-8824	jwilson@cinnerucakdiirs.co
Darrell Jones/Lyle Hagwood/Andrew Cook	Mckinley Bldg	Estimator/Project Mgr/Busi Develop	910-279-3062	djones@mckinleybuilding.com
Brendan Bastchle	Sexton Construction	Owner	910-431-4512	brendan@sextonconstructioncoastal.com
Chris Knight/Cles Craddock	Thomas Construction	Director/Estimator	910-512-3234	knight@thomasconstruction.com
			252-883-8710	
Josh Tilley	Monteith Consturction	Estimator	910-200-9824	jostilley@monteithco.com



REPLACEMENT CARPET: BASIS OF DESIGN,
INTERFACE HUMAN NATURE HN820 104230.
INCLUDE 4" RESILIENT BASE TO MATCH
EXISTING

CONSTRUCTION PHASING NOTES

1. DEMOLITION AND CONSTRUCTION SHALL COMPLY WITH NCBC CHAPTER 33 FOR SAFEGUARDS DURING CONSTRUCTION. FIRE ALARMS, SPRINKLER AND OTHER LIFE SAFETY PROVISIONS SHALL BE STRICTLY ADHERED TO.
2. CONTRACTOR ACCESS AND USER ISOLATION WILL BE DETAILED IN PRECONSTRUCTION CONFERENCE.
3. NEW CORRIDOR WALLS SHALL HAVE FRAMING ERECTED AND CORRIDOR SIDE GYPSUM APPLIED AS SOON AS PRACTICAL TO CREATE A DUST BARRIER AND ISOLATED WORK ENVIRONMENT. CONSTRUCT ONLY AS MUCH AS CAN BE SECURED BY THE END OF THE WORK DAY.
4. CONSTRUCTION MATERIALS MAY BE STORED WITHIN OPEN LEASE AREAS WITH PROTECTION TO FLOOR MATERIALS.
5. GYPSUM WALL FINISHING SHALL INCORPORATE DUST COLLECTION AT POINT OF SOURCE.
6. PROVIDE WALK OFF MATS AT CONTRACTOR ACCESS AREAS.
7. PORTIONS OF THE CORRIDOR MAY BE CLOSED AT TIMES EXCEPT EMERGENCY EXITING FOR USERS. CONTRACTORS SHALL PROVIDE CONES AND SIGNAGE TO DIRECT TRAFFIC FLOW.
8. LAY-IN TILES DISTURBED IN THE CORRIDOR CEILING SHALL BE CLOSED AS SOON AS PRACTICAL.
9. STUDS SHALL BE PRECUT TO LENGTH TO THE EXTENT PRACTICAL OFF SITE.
10. HEPI-FILTER AIR SCRUBBERS SHALL BE UTILIZED TO PREVENT DUST PARTICULATES FROM ENTERING MECHANICAL RETURN AIR.
11. OWNER RESERVES THE RIGHT TO TEMPORARILY STOP NOISEY ACTIVITIES
12. HAMMER DRILLS, CHOP SAWS, AND POWDER ACTIVATED FASTENERS SHALL BE LIMITED AND COORDINATED WITH THE OWNER REPRESENTATIVE.



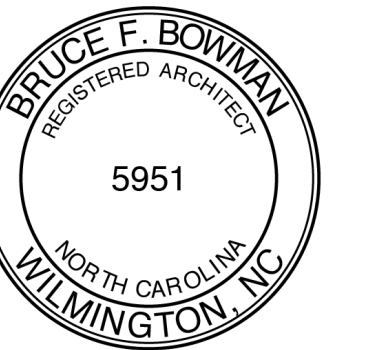
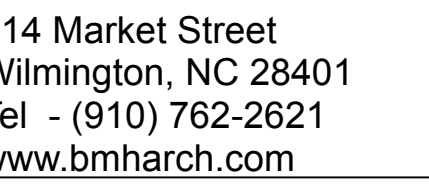
NOTE: SIGNAGE AND WINDOW FROSTING BY TENANT
PROX READERS BY TENANT
SOUND MASKING BY TENANT

1
A-101

4TH FLOOR PLAN

Scale: 3/32" = 1'-0"

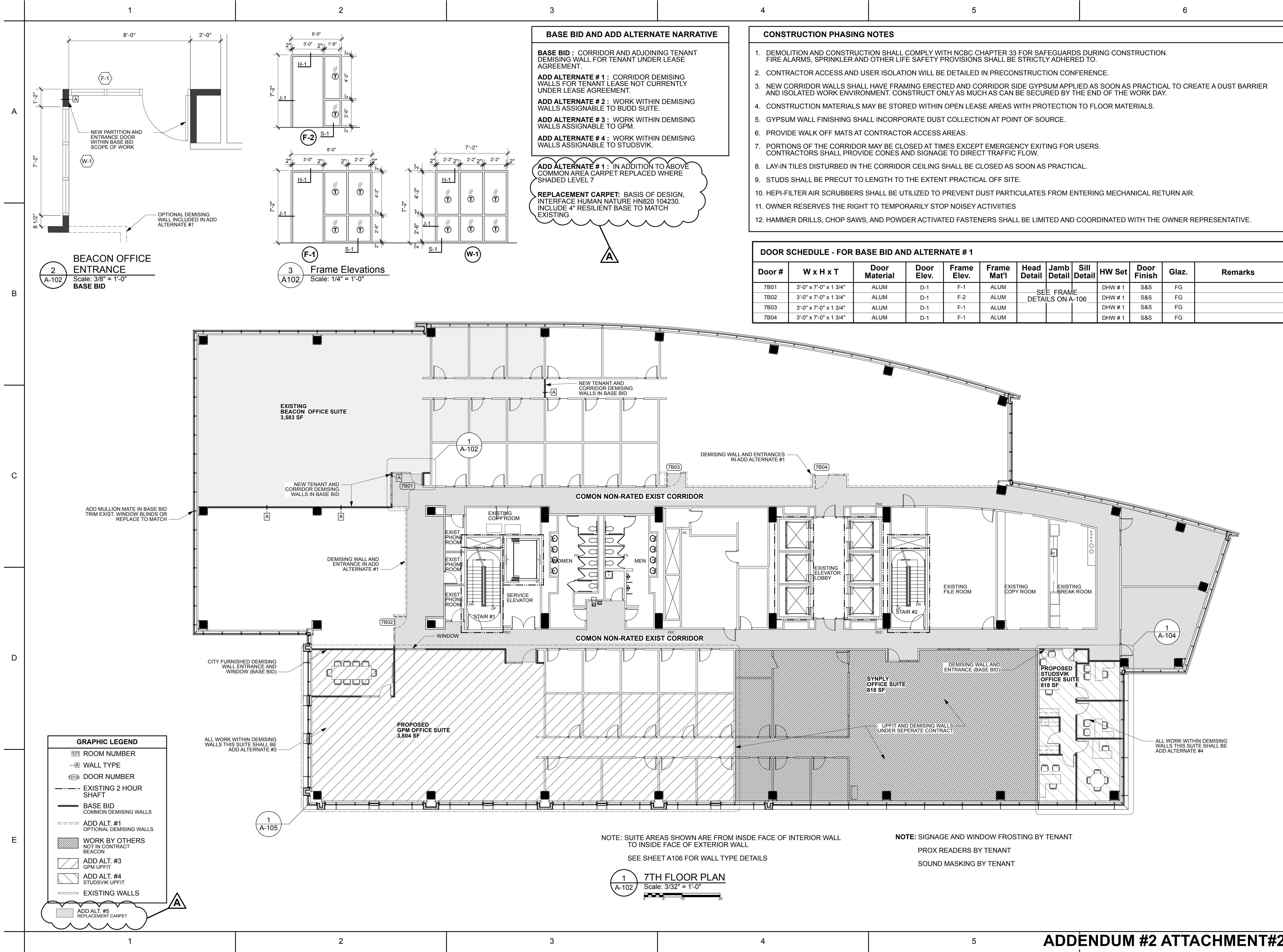
0 5' 10' 20'



929 North Front Street
Wilmington, NC 28409

Sheet No.

A-101



BOWMAN MURRAY HEMINGWAY
ARCHITECTS

514 Market Street
Wilmington, NC 28401
Tel - (910) 762-2621
www.bmharch.com

BRUCE F. BOWMAN
REGISTERED ARCHITECT
NORTH CAROLINA
5951
WILMINGTON, NC

**SKYLINE CENTER
4TH & 7th FLOOR
RENOVATIONS**

929 North Front Street
Wilmington, NC 28409

A	11/3/25	CARPET ADD ALT.
REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE
Project Manager	B. Bowman	Drawn By P. HOOD
Date	9 / 19 / 2025	Reviewed By B. BOWMAN
Project ID		
Sheet Title		
7TH FLOOR PLAN		
Sheet No.		
A-102		

NOTE: ALL WORK THIS SHEET SHALL BE ADD
ALTERNATE #2 UNLESS NOTED OTHERWISE

DOOR SCHEDULE										
Door #	W x H x T	Door Material	Door Elev.	Frame Elev.	Frame Mat'l	Head Detail	Jamb Detail	Sill Detail	HW Set	Remarks
4B01	3'-0" x 7'-0" x 1 3/4"	SCW	D-1	F-2	HM				DHW # 1	
4B02	3'-0" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM				DHW # 1	
4B03	3'-0" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM				DHW # 1	
4B04	3'-0" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM				DHW # 2	
4B05	3'-0" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM				DHW # 4	
4B06	3'-0" x 7'-0" x 1 3/4"	SCW	D-2	F-1	HM				DHW # 5	LOUVER IN DOOR SEE ELEV. / 16 GA. FRAME
4B07	3'-0" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM				DHW # 3	
4B08	3'-0" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM				DHW # 3	
4B09	3'-0" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM				DHW # 3	

DOOR HARDWARE - SENATOR BUDD SKYLINE CENTER LEVEL 4 & 7 RENOVATIONS

DHW #1 ACCESS CONTROL ENTRANCE DOORS, 4B01, 4B02, 4B03
1 ELECTRIFIED LEVER MORTISE LOCKSET-STOREROOM-FAIL SECURE WITH INTEGRATED DEAD BOLT AND DEAD BOLT MONITORING SCHLAGE L9492 DM OR EQUAL, 24 VDC

1 ELECTRIFIED DOOR HINGE - MCKINLEY TA 2714CC-4, 24VDC
2 MATCHING NON-ELECTRIFIED HINGES - PROVIDE NRP AT OUTSWING DOORS

1 GRADE 2 CLOSER
1 WALL STOP

DHW #2 INNER CONFERENCE DOOR 4B04

1 LEVER CYLINDRICAL LOCKSET - ENTRANCE FUNCTION SCHLAGE ALK SERIES
3 HINGES

1 WALL STOP

DHW #3 SAFE HAVEN ROOM AND OFFICE DOORS 4B07, 4B08, & 4B09
1 LEVER CYLINDRICAL LOCKSET - ENTRANCE FUNCTION SCHLAGE ALK SERIES

1 DEAD BOLT WITH THUMB TURN SCHLAGE B660
3 HINGES

1 WALL STOP

DHW #4 STORAGE DOOR 4B05

1 LEVER CYLINDRICAL LOCKSET - PASSAGE FUNCTION SCHLAGE ALK SERIES
3 HINGES

1 WALL STOP

DHW #5 IT SECURE ROOM 4B06

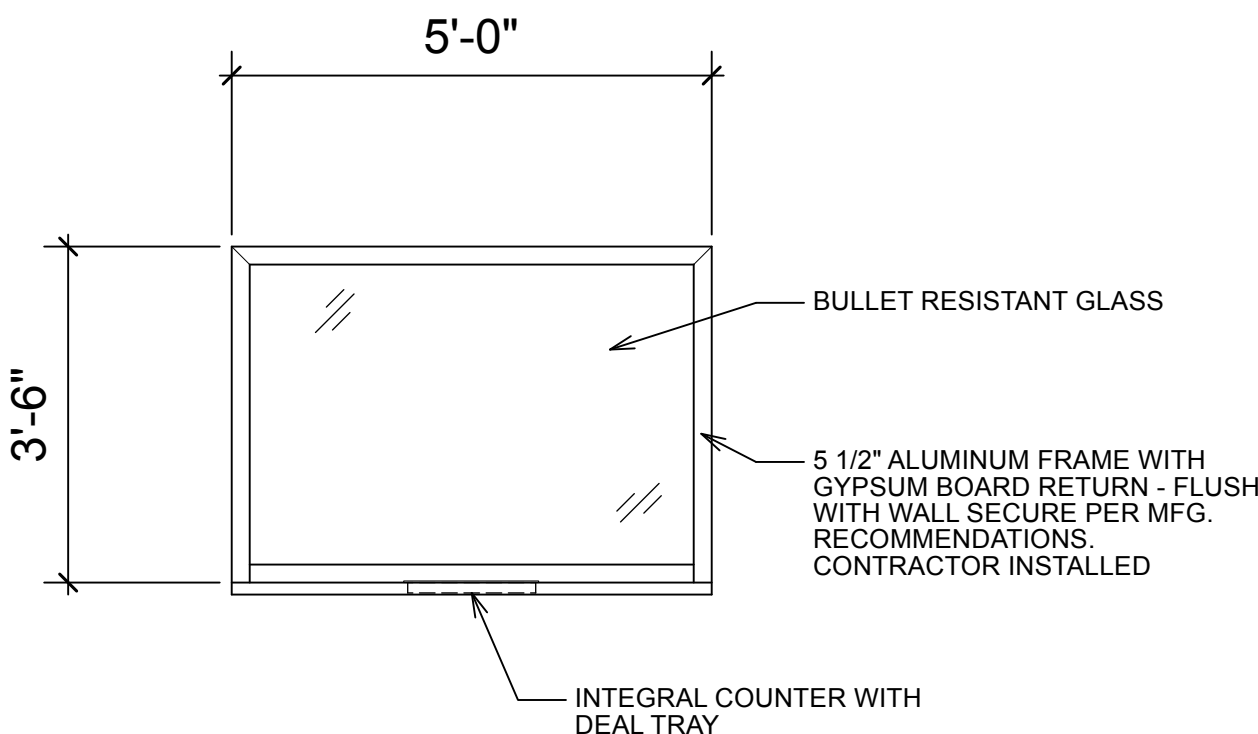
1 LEVER CYLINDRICAL LOCKSET - STOREROOM FUNCTION SCHLAGE ALK SERIES
3 HINGES

1 WALL STOP

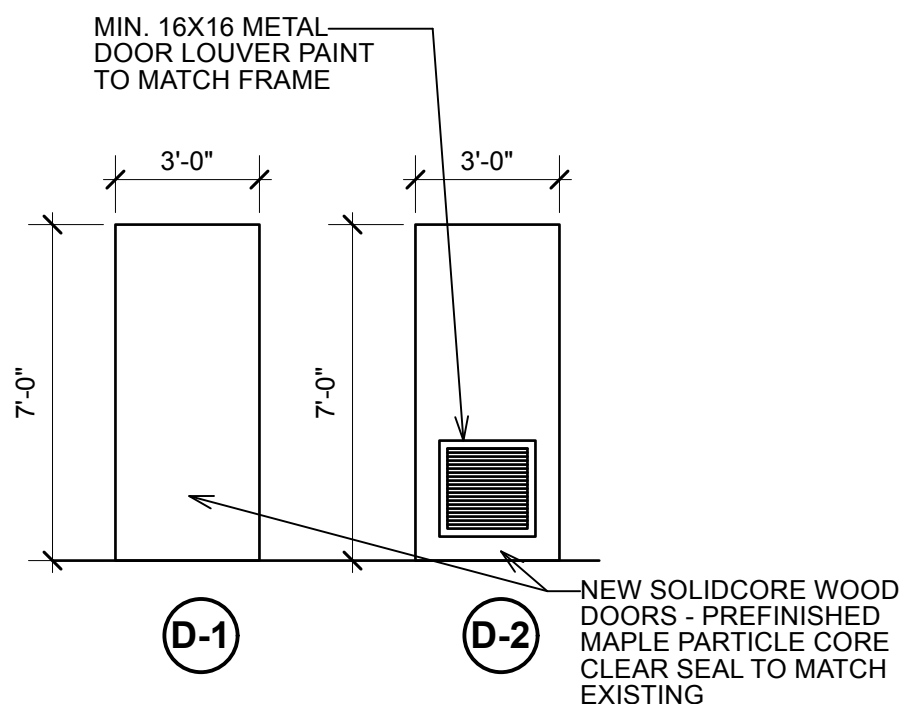
DOOR HARDWARE NOTES :

1. ALL DOOR AND FRAME PREP SHALL BE IN ACCORDANCE WITH NATIONAL STANDARDS.
2. DOOR HARDWARE AND LEVER DESIGN SHALL MATCH EXISTING CONDITIONS. FINISH SHALL BE US26D OR EQUAL.
3. KEY BITTING SHALL BE IN ACCORDANCE WITH SAA AND CITY OF WILMINGTON STANDARDS.
4. CYLINDRICAL AND MORTISE LOCKS SHALL BE SCHLAGE LEVEL BASIS OF DESIGN.

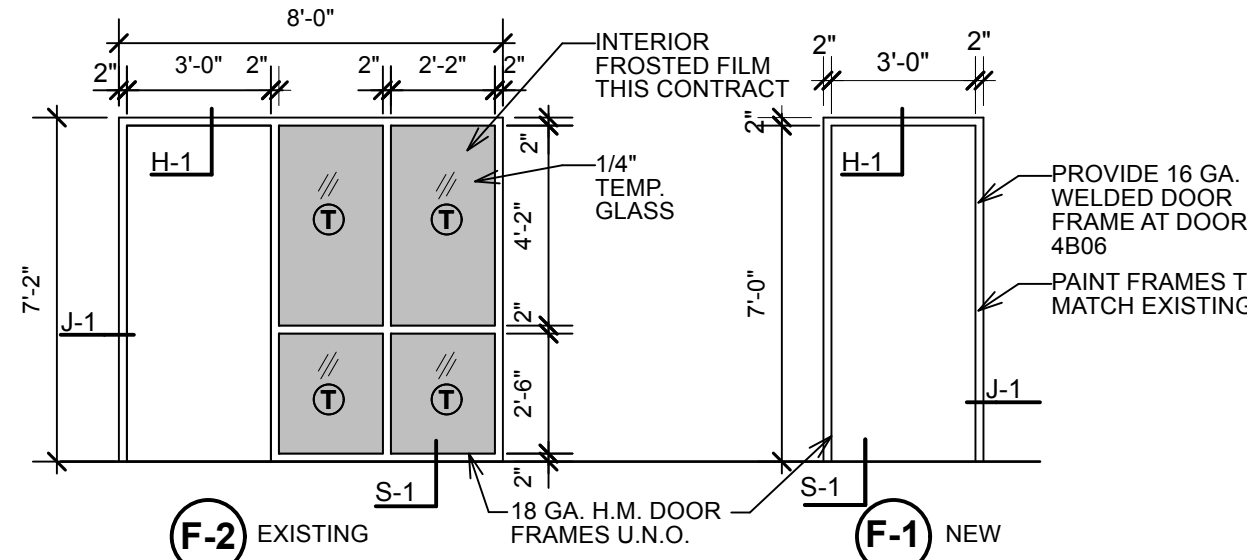
FINISH SCHEDULE									
Rm #	Room Name	Floor	Base	North Wall	East Wall	South Wall	West Wall	CEILING	FINISHES
4B2-01	WAITING	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	NEW ACT-1 TEGULAR 2X2 LAY-IN	
4B2-02	RECEPTION	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	NEW ACT-1 TEGULAR 2X2 LAY-IN	
4B2-03	CONFERENCE	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	NEW ACT-1 TEGULAR 2X2 LAY-IN	
4B2-04	SITTING	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	NEW ACT-1 TEGULAR 2X2 LAY-IN	
4B2-05	STORAGE	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	NEW ACT-1 TEGULAR 2X2 LAY-IN	ACT-1 IS ULTIMA HIGH NRC 2' X 2' TEGULAR EDGE CEILING TILE ON 15/16" WHITE CEILING GRID.
4B2-06	BREAK	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	NEW ACT-1 TEGULAR 2X2 LAY-IN	BASE-1 IS JOHNSONITE RUBBER BASE TO MATCH EXISTING
4B2-07	OFFICE	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	NEW ACT-1 TEGULAR 2X2 LAY-IN	
4B2-08	OFFICE	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	NEW ACT-1 TEGULAR 2X2 LAY-IN	OWNER TO FURNISH MATCHING CARPET TILES
4B2-09	OFFICE	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	NEW ACT-1 TEGULAR 2X2 LAY-IN	
4B2-10	ITSF	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	NEW ACT-1 TEGULAR 2X2 LAY-IN	
4B2-11	HALLWAY	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	NEW ACT-1 TEGULAR 2X2 LAY-IN	



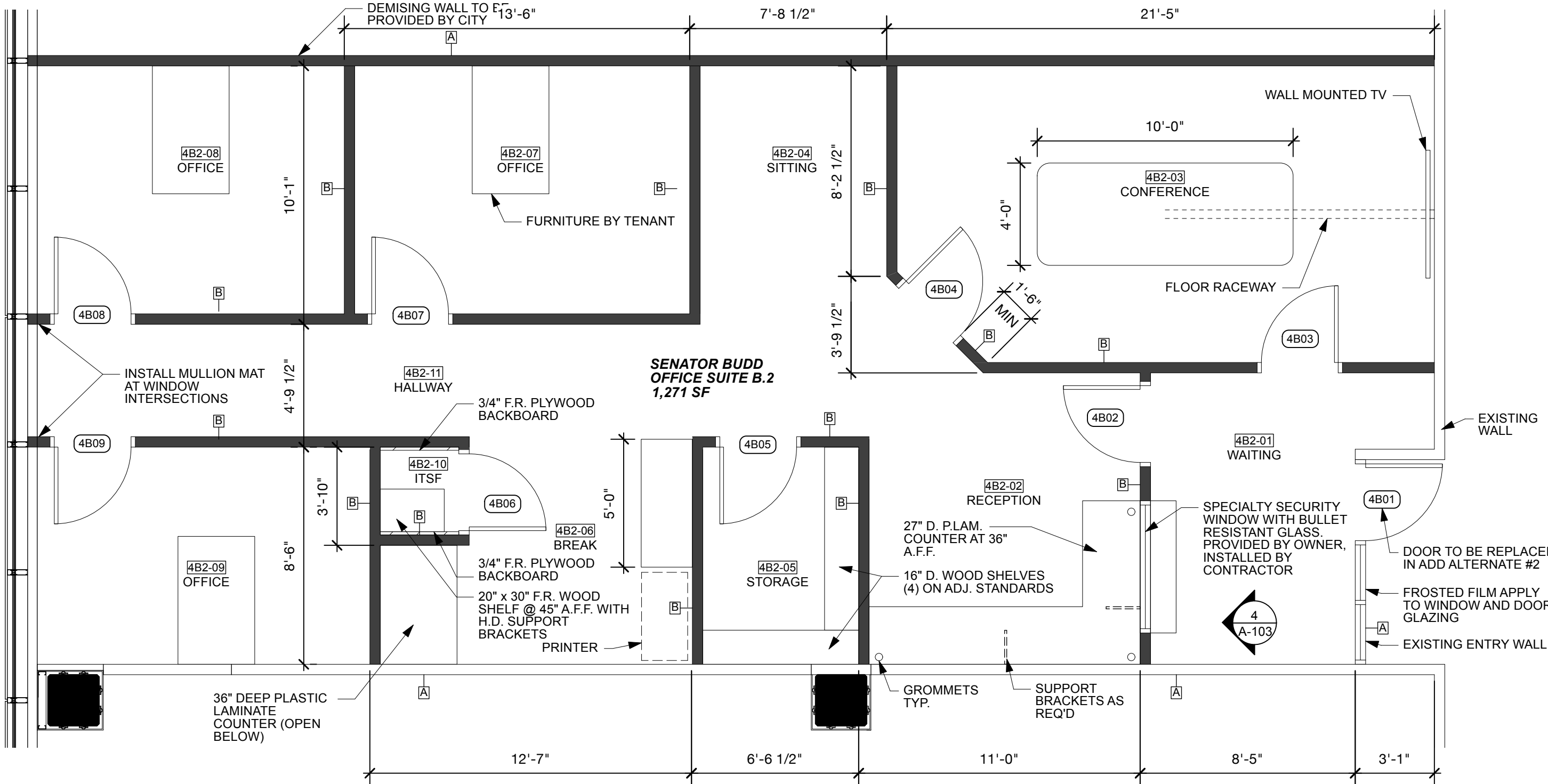
4 TENANT PROVIDED SECURITY WINDOW ELEVATION
A-103 Scale: 1/2" = 1'-0"



3 Door Elevations
A103 Scale: 1/4" = 1'-0"



2 Frame Elevations
A102 Scale: 1/4" = 1'-0"



1 OFFICE SUITE B.2 FLOOR PLAN
A-101 Scale: 1/4" = 1'-0"

NOTE: SUITE AREAS SHOWN ARE PER ANSI/BOMA STANDARDS
SEE SHEET A101, 2/A101 FOR WALL TYPE DETAILS
SIGNAGE AND WINDOW FROSTING BY TENANT
PROX READERS BY TENANT
SOUND MASKING BY TENANT

GRAPHIC LEGEND	
7D-04	ROOM NUMBER
B	WALL TYPES; SEE A-103
7D04	DOOR NUMBER
---	NEW WALLS
---	EXISTING WALLS
---	WALLS AND ELEMENTS TO BE REMOVED

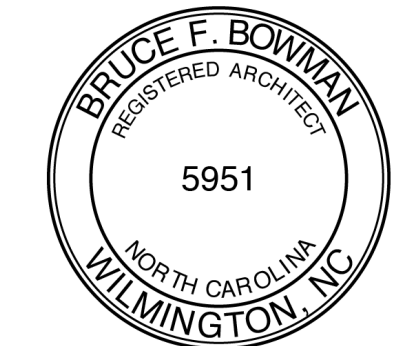
NOTE: ALL WORK THIS SHEET SHALL BE ADD
ALTERNATE #2 UNLESS NOTED OTHERWISE

bmh

BOWMAN
MURRAY
HEMINGWAY

A R C H I T E C T S

514 Market Street
Wilmington, NC 28401
Tel - (910) 762-2621
www.bmharch.com



SKYLINE CENTER
4TH & 7th FLOOR
RENOVATIONS

929 North Front Street
Wilmington, NC 28409

A	11/5/25	Correct Scale Label
REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE
-----	------	------------

Project Manager B. Bowman

Drawn By P. HOOD

Date 9 / 19 / 2025

Reviewed By B. BOWMAN

Project ID

Sheet Title

ENLARGED PLAN -
OFFICE SUITE 4B.2

Sheet No.

A-103

A	11/5/25	Correct Scale Label
REV.	DATE	DESCRIPTION
O.	DATE	ISSUE NOTE
Project Manager B. Bowman		Drawn By P. HOOD
Date 9 / 19 / 2025	Reviewed By B. BOWMAN	
Project ID		
Sheet Title		
ENLARGED CEILING - OFFICE SUITE 4B.2		
Sheet No.		

REFLECTED CEILING GRAPHIC LEGEND

2X4 LAYIN LIGHT FIXTURE

2X2 LAYIN LIGHT FIXTURE

RECESSED DOWN LIGHT FIXTURE

HVAC SUPPLY GRILLE

HVAC SUPPLY GRILLE

HVAC RETURN GRILLE

2X2 LAYIN SPEAKER

POWER / DATA POLE

SPRINKLER HEAD

SMOKE DETECTOR

FIRE ALARM DEVICE

FIRE ALARM DEVICE W/ STROBE LIGHT

OCCUPANCY SENSOR

EXIT SIGN, CLG MTD

ABOVE CEILING HVAC UNIT

2X2 TEGULAR ACOUSTICAL CEILING TILES

N NEW FIXTURE/EQUIPMENT

R RELOCATED FIXTURE/EQUIPMENT

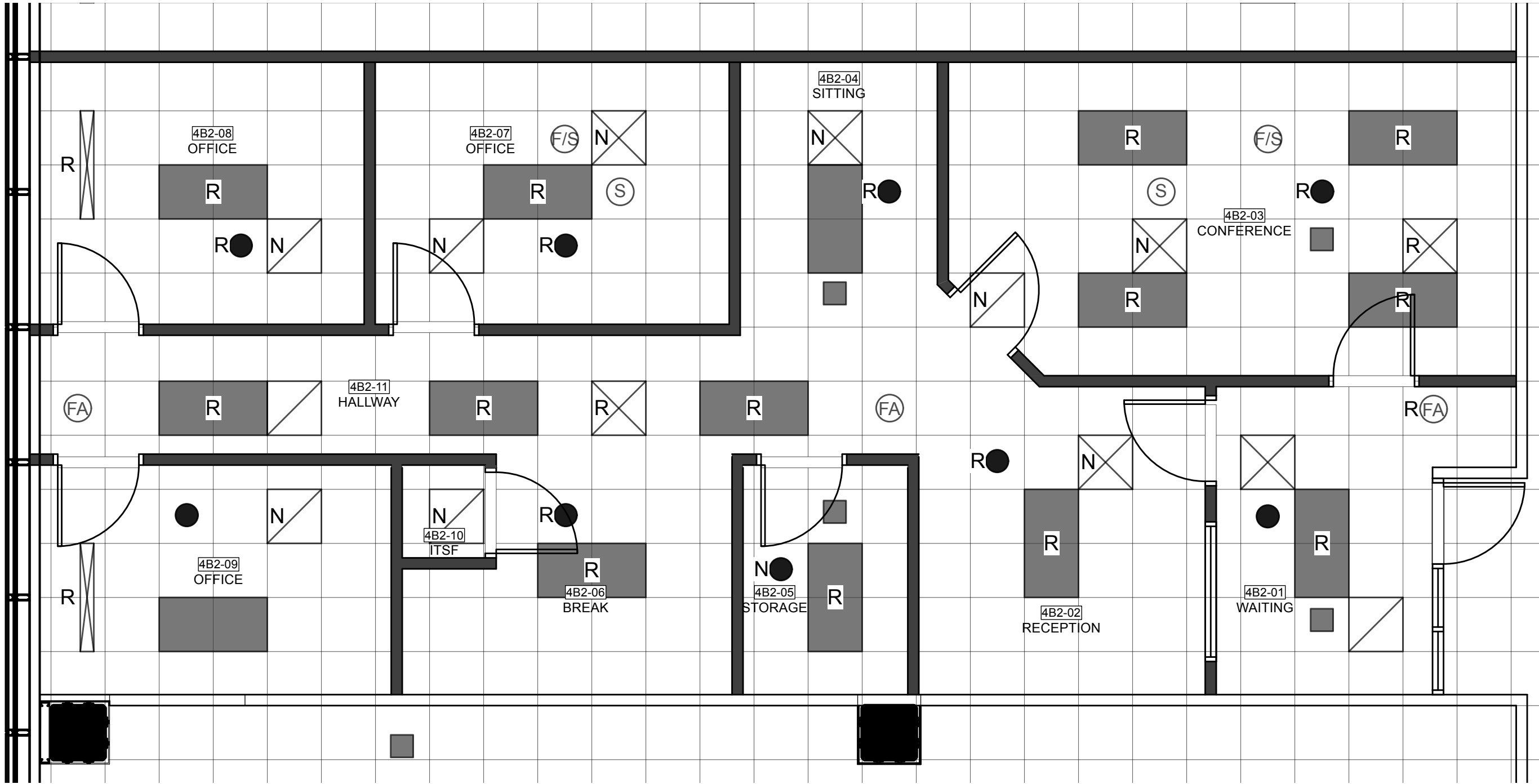
NOTE: ALL CEILING DEVICES TO BE RELOCATED IN THIS SUITE

CEILING DEVICES TO BE REUSED AS SHOWN

SPRINKLERS SHALL RELOCATE WHEN NECESSARY AS SHOWN

CEILING GRID SHALL BE NEW WHITE 15/16" GRID TO REPLACE EXISTING PLACED IN SAME PATTERN AND HEIGHT AS EXISTING

ALL CEILING TILES SHALL BE NEW WITHIN SUITE TO MATCH EXISTING CEILING TILES



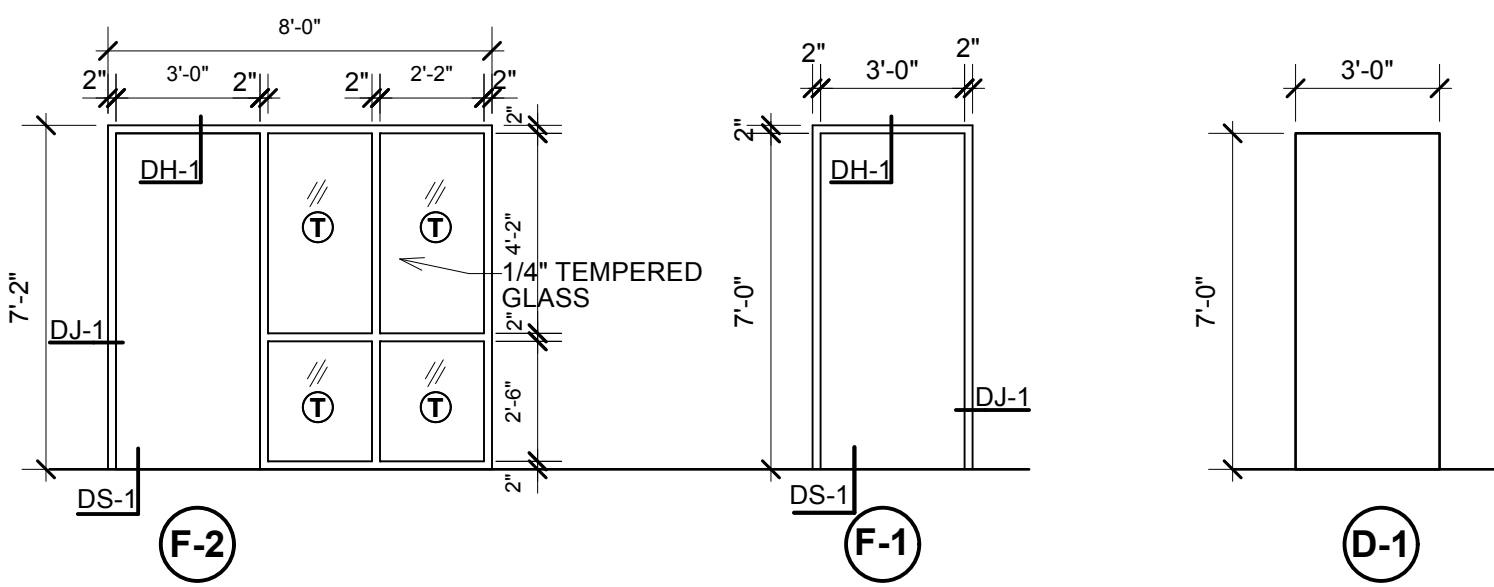
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OFFICE SUITE B-2 CEILING PLAN

A-101

Scale: 1/4" = 1'-0"

A

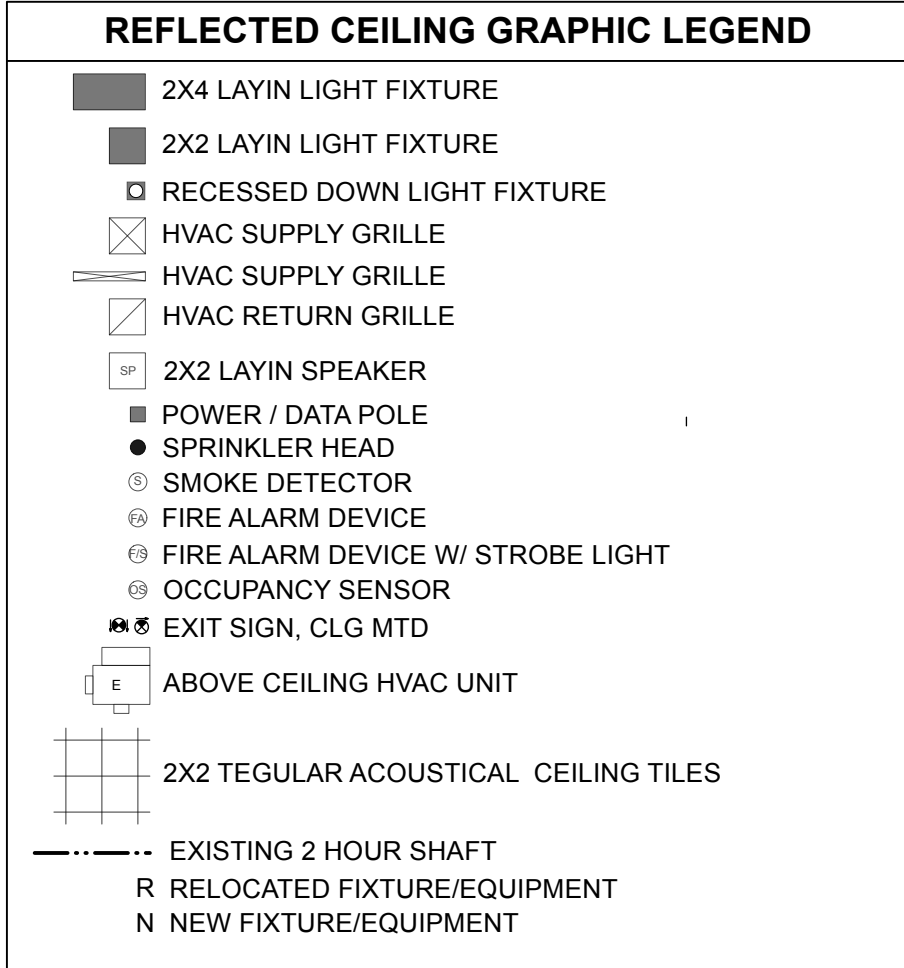


2 Frame Elevations
A102 Scale: 1/4" = 1'-0"

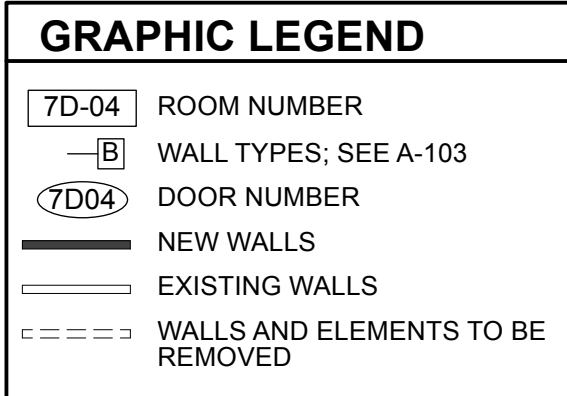
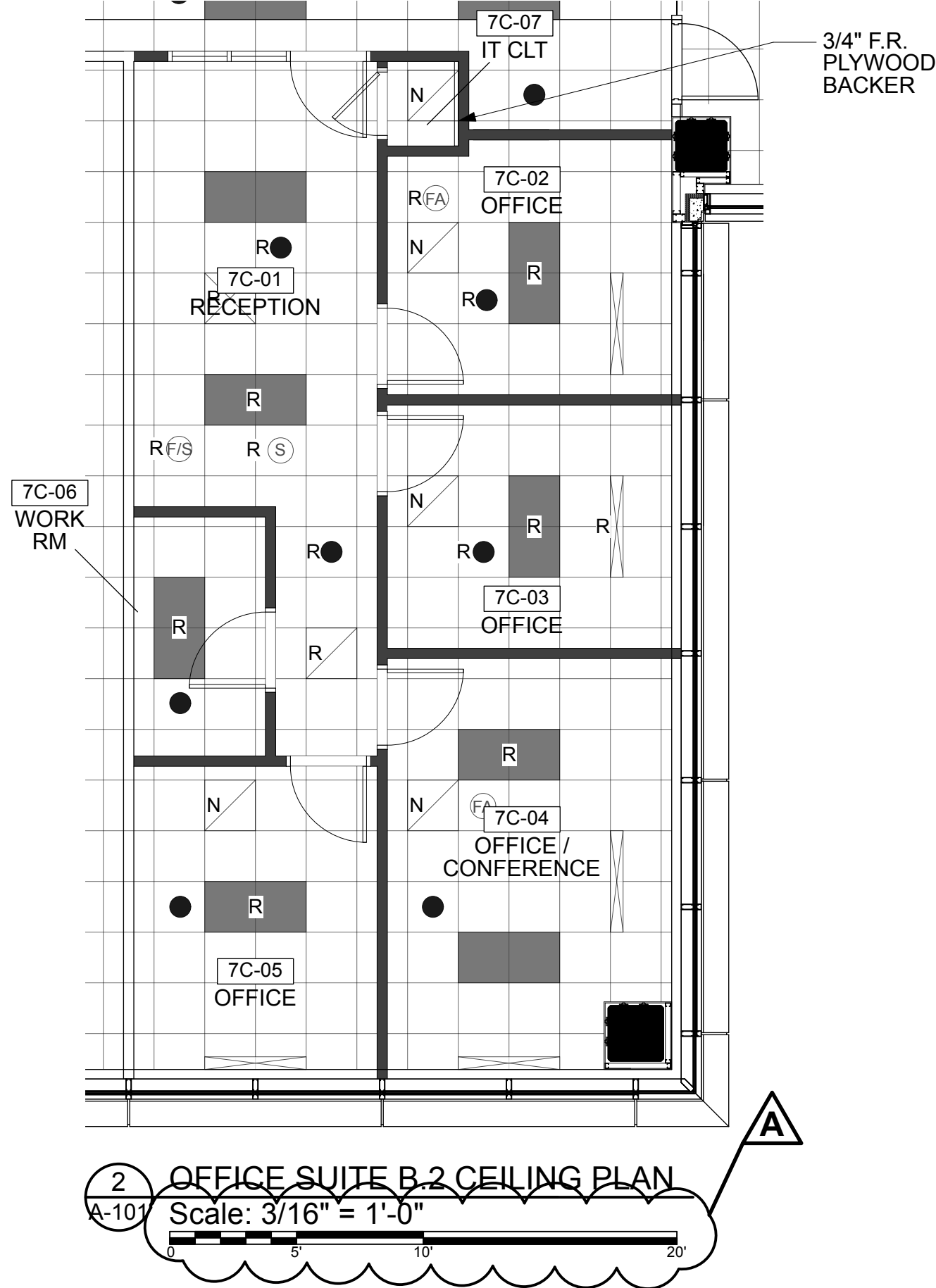
1 Door & Elevations
A102 Scale: 1/4" = 1'-0"

DOOR SCHEDULE												
Door #	W x H x T	Door Material	Door Elev.	Frame Elev.	Frame Mat'l	Head Detail	Jamb Detail	Sill Detail	HW Set	Door Finish	Glaz.	Remarks
7C01	3'-0" x 7'-0" x 1 3/4"	ALUM	D-1	F-2	ALUM				DHW # 1	S&S	FG	
7C02	3'-0" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM				DHW # 1	S&S	HG	
7C03	3'-6" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM	SEE DOOR FRAME DETAILS			DHW # 1	S&S	HG	
7C04	3'-0" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM				DHW # 1	S&S	HG	
7C05	3'-0" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM				DHW # 1	S&S	HG	
7C06	3'-6" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM				DHW # 1	S&S		
7C07	3'-0" x 7'-0" x 1 3/4"	SCW	D-1	F-1	HM				DHW # 1	S&S		

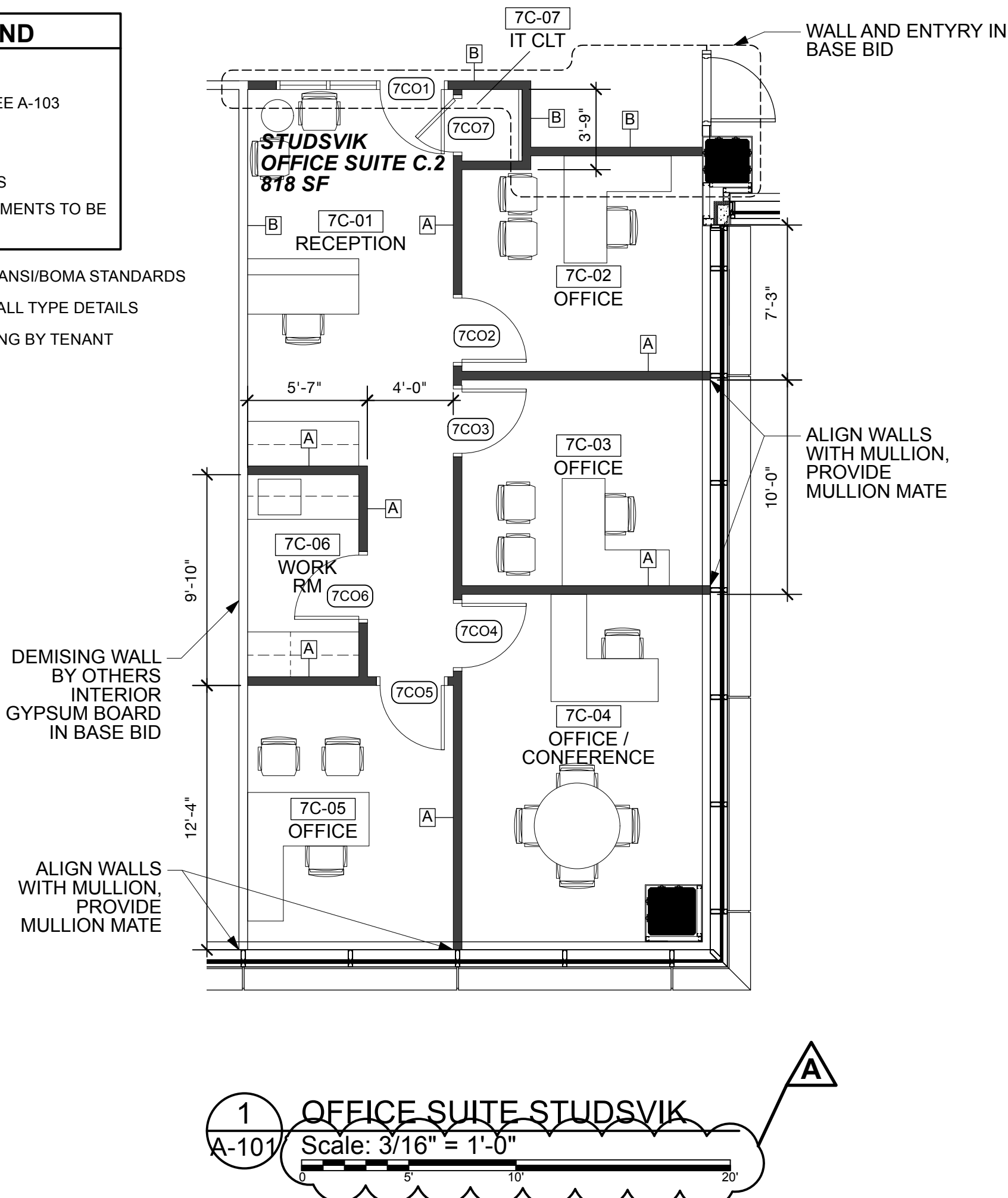
FINISH SCHEDULE											
Bid	Rm #	Room Name	Floor	Base	North Wall	East Wall	South Wall	West Wall	CEILING	REMARKS	
BASE	7C01	RECEPTION	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	EXISTING TEGULAR 2X2 LAY-IN	NEW CARPET TILES ONLY TO REPLACE DAMAGED EXISTING CARPET TILES	
	7C02	OFFICE	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	EXISTING TEGULAR 2X2 LAY-IN	NEW CARPET TILES ONLY TO REPLACE DAMAGED EXISTING CARPET TILES	
	7C03	OFFICE	CPT-1	BASE-1	PT-1		PT-1	PT-1	EXISTING TEGULAR 2X2 LAY-IN	NEW CARPET TILES ONLY TO REPLACE DAMAGED EXISTING CARPET TILES	
	7C04	OFFICE / CONFERENCE	CPT-1	BASE-1	PT-1			PT-1	EXISTING TEGULAR 2X2 LAY-IN	NEW CARPET TILES ONLY TO REPLACE DAMAGED EXISTING CARPET TILES	
	7C05	OFFICE	CPT-1	BASE-1	PT-1	PT-1		PT-1	EXISTING TEGULAR 2X2 LAY-IN	NEW CARPET TILES ONLY TO REPLACE DAMAGED EXISTING CARPET TILES	
	7C06	WORK ROOM	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	EXISTING TEGULAR 2X2 LAY-IN	NEW CARPET TILES ONLY TO REPLACE DAMAGED EXISTING CARPET TILES	
	7C07	I.T. CLOSET	CPT-1	BASE-1	PT-1	PT-1	PT-1	PT-1	EXISTING TEGULAR 2X2 LAY-IN	NEW CARPET TILES ONLY TO REPLACE DAMAGED EXISTING CARPET TILES	



NOTE: CEILING TILE AND DEVICES TO BE REUSED
NEW CEILING GRID TO BE INSTALLED
NEW SPRINKLER HEADS AND SMOKE DETECTORS TO BE INSTALLED AS NEEDED; FIELD VERIFY



NOTE: SUITE AREAS SHOWN ARE PER ANSI/BOMA STANDARDS
SEE SHEET A101, 2/A101 FOR WALL TYPE DETAILS
SIGNAGE AND WINDOW FROSTING BY TENANT
PROX READERS BY TENANT
SOUND MASKING BY TENANT



NOTE: ALL WORK THIS SHEET SHALL BE ADD
ALTERNATE #4 UNLESS NOTED OTHERWISE

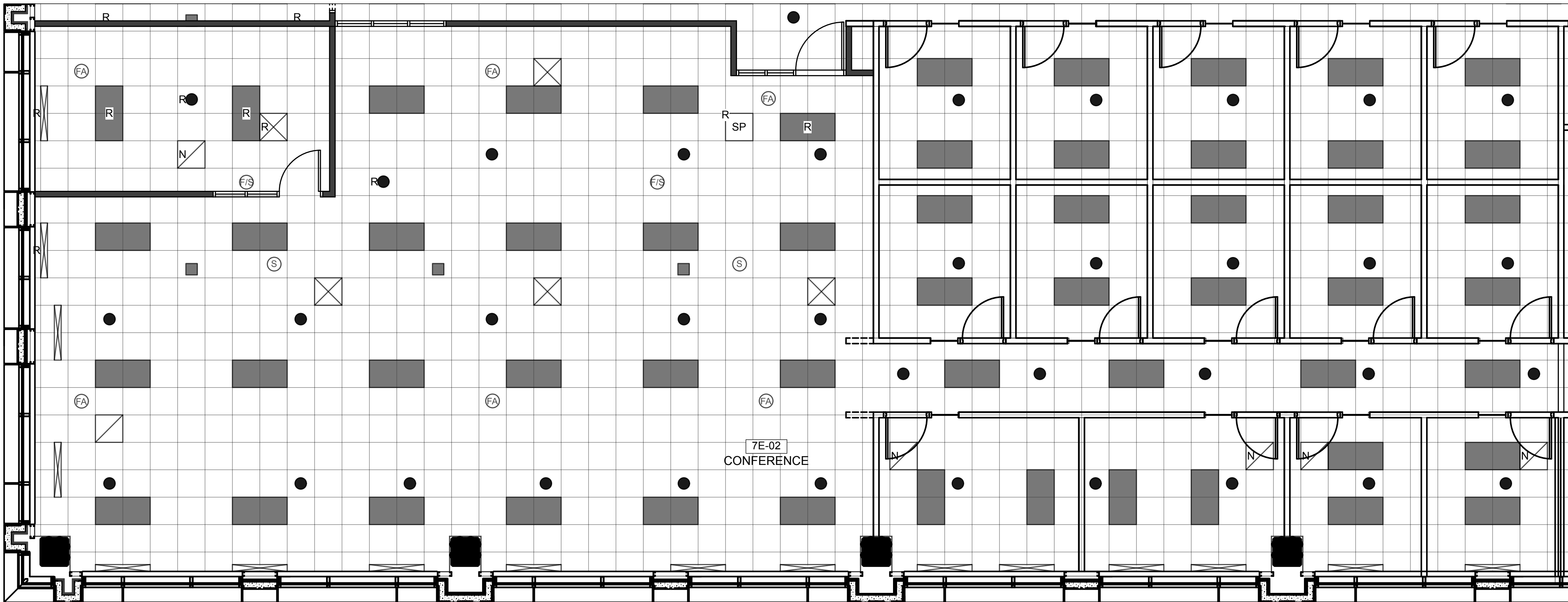
FINISH SCHEDULE					
Rm #	Room Name	Floor	Base	North Wall	East Wall
7E02	CONFERENCE ROOM	CPT-1	BASE-1	PT-1	PT-1
					West Wall
					PT-1
					CEILING
					EXISTING REGULAR 2X2 LAY-IN
					REMARKS
					NEW CARPET TILES ONLY TO REPLACE DAMAGED EXISTING CARPET TILES

DOOR SCHEDULE					
Door #	W x H x T	Door Material	Door Elev.	Frame Elev.	Frame Mat'l
7E01	3'-0" x 7'-0" x 1'-3/4"	ALUM	D-1	F-2	ALUM
7E02	3'-0" x 7'-0" x 1'-3/4"	SOW	D-1	F-1	HM

REFLECTED CEILING GRAPHIC LEGEND

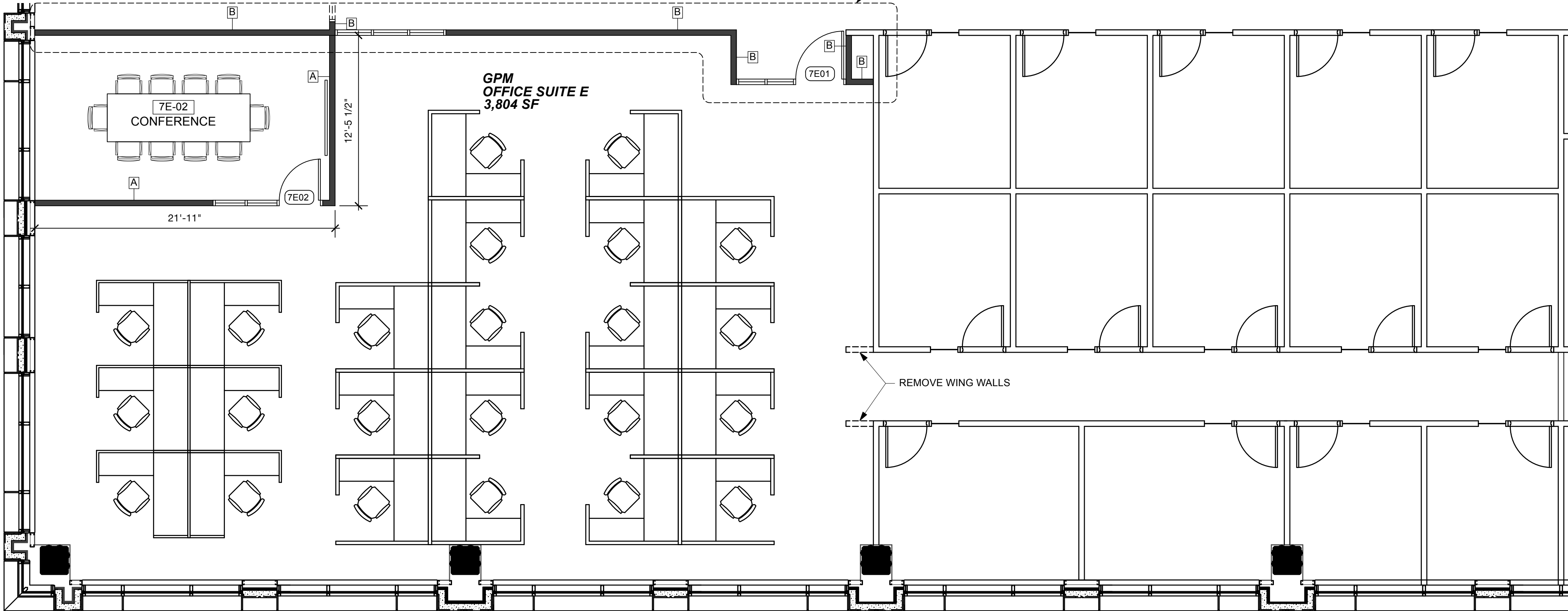
- 2X4 LAYIN LIGHT FIXTURE
- 2X2 LAYIN LIGHT FIXTURE
- RECESSED DOWN LIGHT FIXTURE
- HVAC SUPPLY GRILLE
- HVAC RETURN GRILLE
- 2X2 LAYIN SPEAKER
- POWER / DATA POLE
- SPRINKLER HEAD
- SMOKE DETECTOR
- FIRE ALARM DEVICE
- FIRE ALARM DEVICE W/ STROBE LIGHT
- OCCUPANCY SENSOR
- EXIT SIGN, CLG MTD
- ABOVE CEILING HVAC UNIT
- 2X2 REGULAR ACOUSTICAL CEILING TILES
- EXISTING 2 HOUR SHAFT
- R RELOCATED FIXTURE/EQUIPMENT
- N NEW FIXTURE/EQUIPMENT

NOTE: CEILING TILE AND DEVICES TO BE REUSED
NEW CEILING GRID TO BE INSTALLED
NEW SPRINKLER HEADS AND SMOKE DETECTORS TO BE INSTALLED AS NEEDED; FIELD VERIFY



NOTE: CEILING TILE AND DEVICES TO BE REUSED
NEW CEILING GRID TO BE INSTALLED
REPLACE CEILING TILES WHERE POWER POLES ARE REMOVED
NEW SPRINKLER HEADS AND SMOKE DETECTORS TO BE INSTALLED AS NEEDED; FIELD VERIFY

2 OFFICE SUITE 7A-1 CEILING PLAN
Scale: 3/16" = 1'-0"



NOTE: SUITE AREAS SHOWN ARE PER ANSI/BOMA STANDARDS
SEE SHEET A101, 2/A101 FOR WALL TYPE DETAILS
SIGNAGE AND WINDOW FROSTING BY TENANT
PROX READERS BY TENANT
SOUND MASKING BY TENANT

1 OFFICE SUITE 7A-1 FLOOR PLAN
Scale: 3/16" = 1'-0"

GRAPHIC LEGEND

- 7D-04 ROOM NUMBER
- 7D04 DOOR NUMBER
- NEW WALLS
- EXISTING WALLS
- WALLS AND ELEMENTS TO BE REMOVED

NOTE: ALL WORK THIS SHEET SHALL BE ADD
ALTERNATE #3 UNLESS NOTED OTHERWISE

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WILMINGTON, NC

SKYLINE CENTER
4TH & 7th FLOOR
RENOVATIONS
929 North Front Street
Wilmington, NC 28409

A	11/5/25	Correct Scale Label
REV.	DATE	DESCRIPTION
NO.	DATE	ISSUE NOTE
Project Manager B. Bowman		Drawn By P. HOOD
Date 9 / 19 / 2025		Reviewed By B. BOWMAN
Project ID		

Sheet Title
**ENLARGED PLAN -
OFFICE SUITE 7E**
Sheet No.

A-105

GENERAL NOTES

1. SEE SHEET EP1.2 FOR POWER PANEL LOCATIONS.

BID NOTE

1. ALL ELECTRICAL WORK THIS PAGE IS BASE BID.

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STATE OF NORTH CAROLINA
PROFESSIONAL SEAL
11/3/2025

CITY OF WILMINGTON -
SKYLINE CENTER
4th & 7th FLOOR RENOVATIONS
929 North Front Street
Wilmington, NC 28409

REV.	DATE	DESCRIPTION
1	11.3.2025	REVISED SHEET No.

NO.	DATE	ISSUE NOTE
Project Manager	Drawn By	

Date	Reviewed By
09.19.2025	WAC

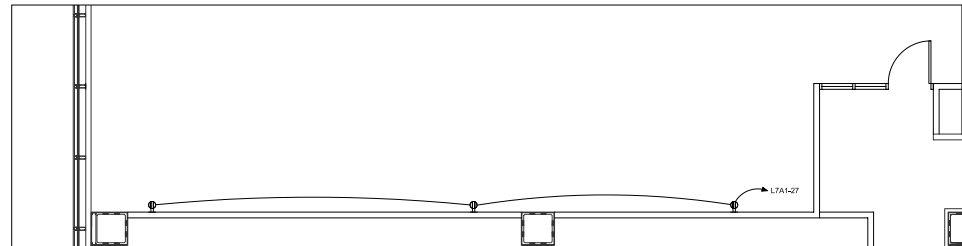
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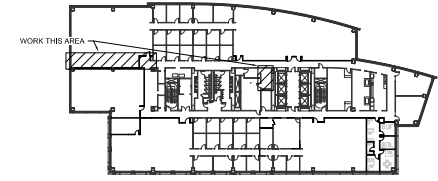
ELECTRICAL POWER
SUITE 7A.1 PLAN

Sheet No.

EP1.4



D3 7TH FLOOR POWER PLAN



E5 KEY PLAN
NOT TO SCALE